



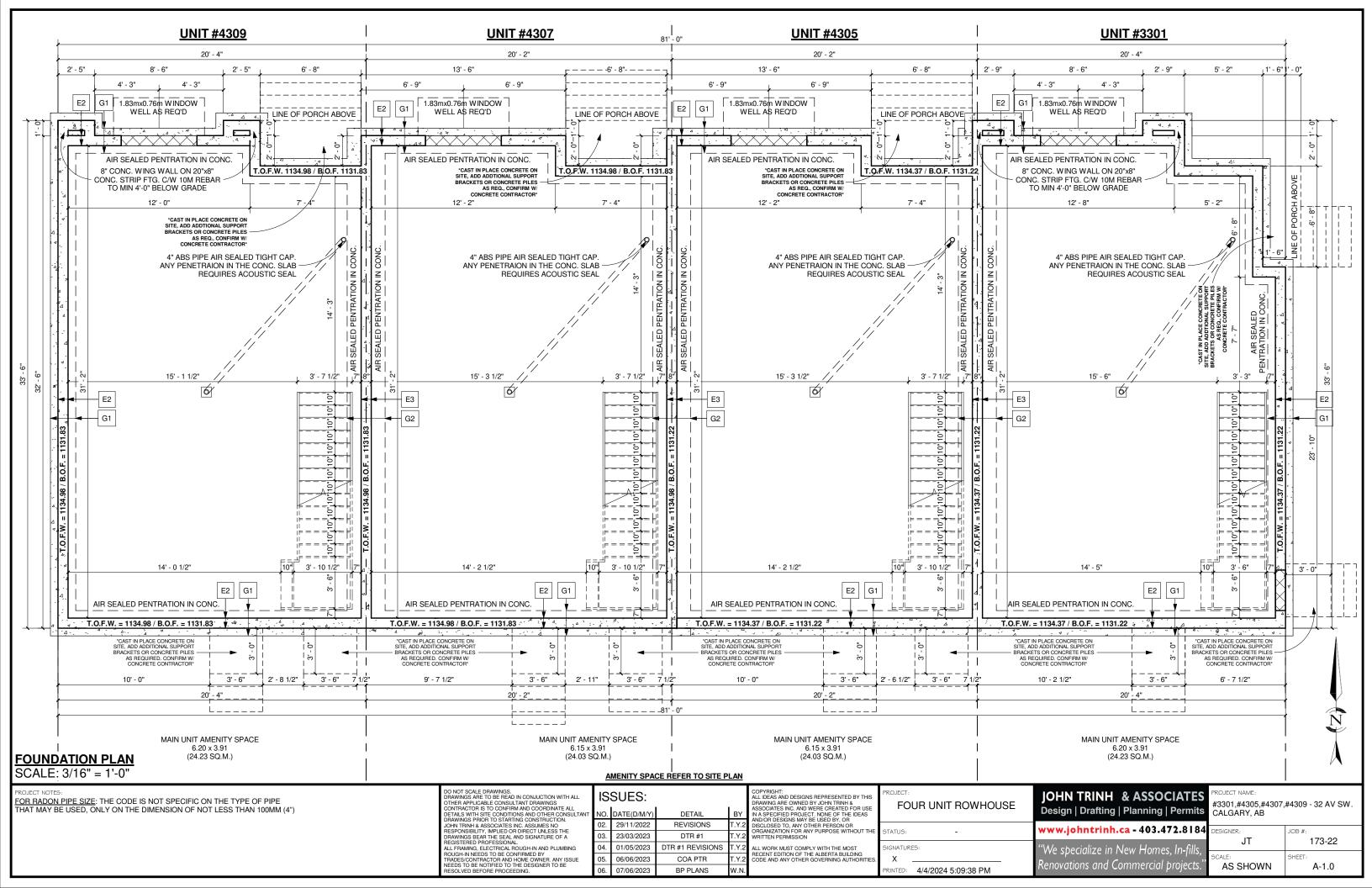


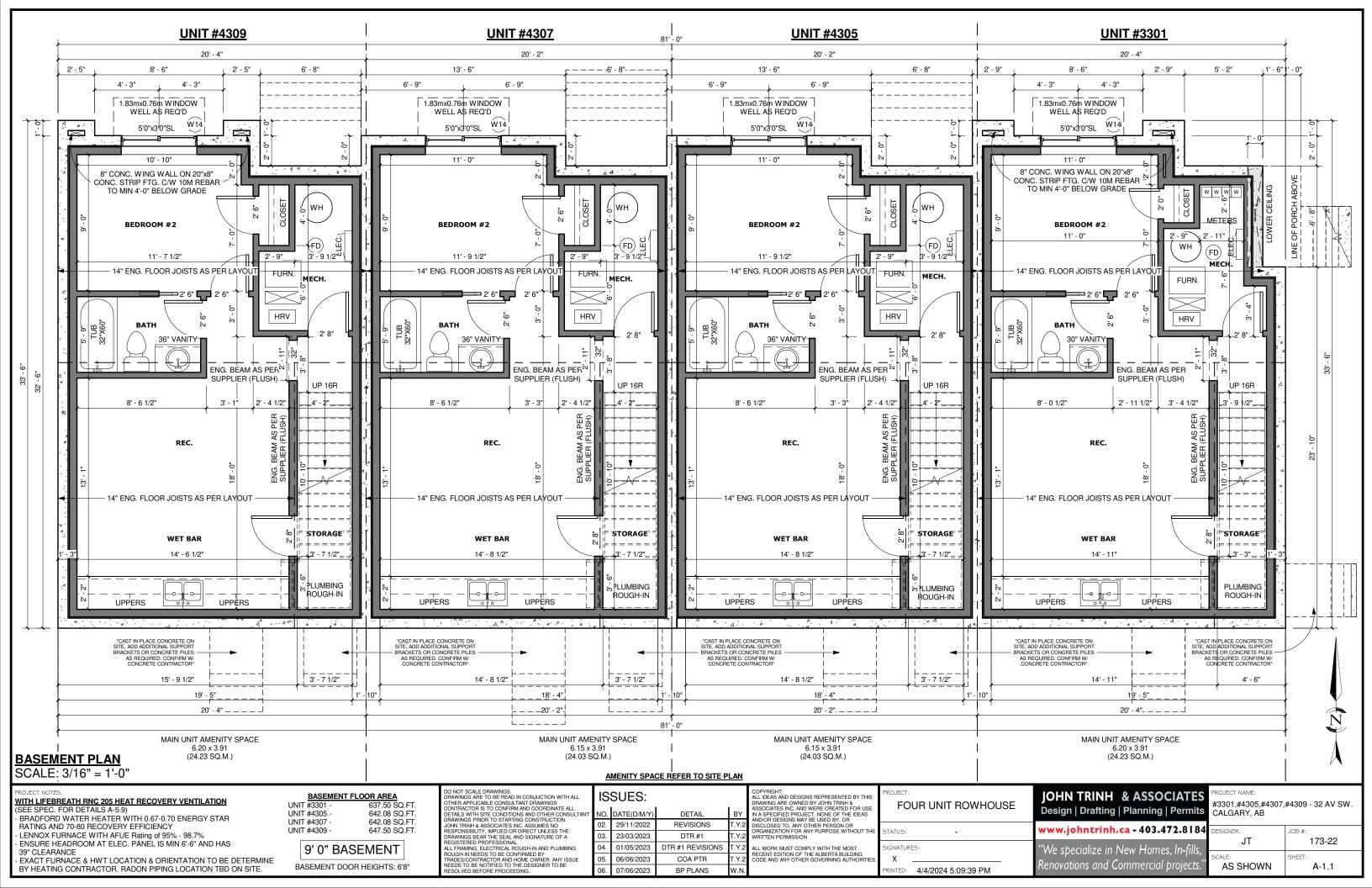
FLOOR AREA -	UNIT# 3301	FLOOR AREA -	UNIT# 4305	FLOOR AREA	<u>- UNIT# 4307</u>	FLOOR AREA	<u>- UNIT# 4309</u>
BASEMENT	= 637.50 SQ. FT.	BASEMENT	= 642.08 SQ. FT.	BASEMENT	= 642.08 SQ. FT.	BASEMENT	= 647.50 SQ. FT.
MAIN <u>UPPER</u> TOTAL	= 634.17 SQ. FT. = 674.30 SQ. FT. = 1308.47 SQ. FT.	MAIN <u>UPPER</u> TOTAL	= 642.08 SQ. FT. = 669.22 SQ. FT. = 1311.30 SQ. FT.	MAIN <u>UPPER</u> TOTAL	= 642.08 SQ. FT. = 669.22 SQ. FT. = 1311.30 SQ. FT.	MAIN <u>UPPER</u> TOTAL	= 647.50 SQ. FT. <u>= 674.03 SQ. FT.</u> = 1321.53 SQ. FT.

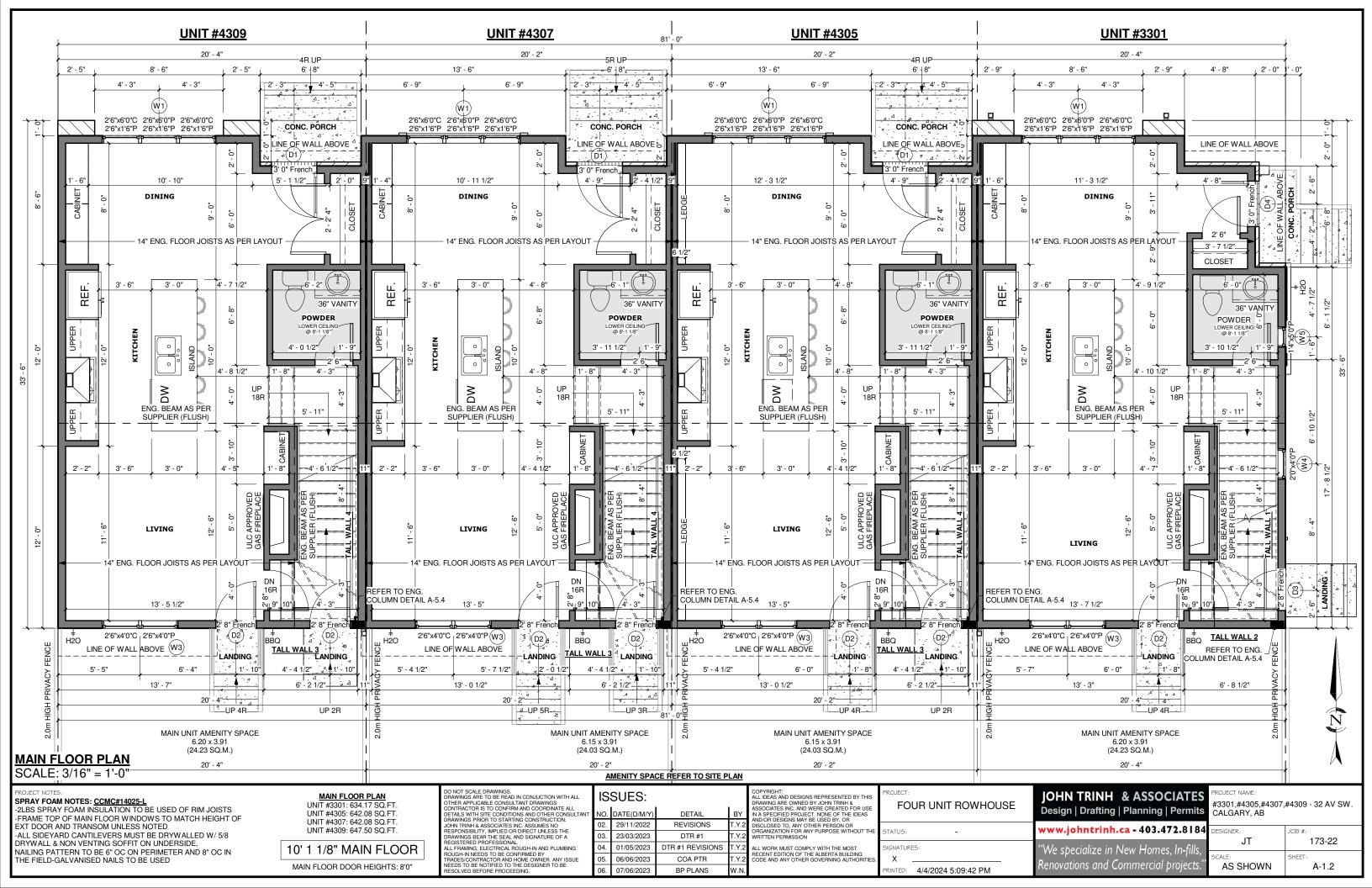
DO NOT SCALE DRAWINGS. DRAWINGS ARE TO BE READ IN CONJUCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETALLS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STATING CONSTRUCTION. JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLEED OR DIFECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADESICONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNARE TO BE RESOLVED BEFORE PROCEEDING. COPYRIGHT: ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC, AND WERE CREATED FOR USE IN A SPECIFIED PROJECT. NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION PROJECT NOTES: PROJECT: **ISSUES:** FOUR UNIT ROWHOUSE NO. DATE(D/M/Y) DETAIL BY 02. 29/11/2022 REVISIONS STATUS: -03. 23/03/2023 DTR #1 ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES 01/05/2023 DTR #1 REVISIONS SIGNATURES: 04 х \_ 06/06/2023 COA PTR 05 07/06/2023 BP PLANS PRINTED: 4/4/2024 5:09:37 PM

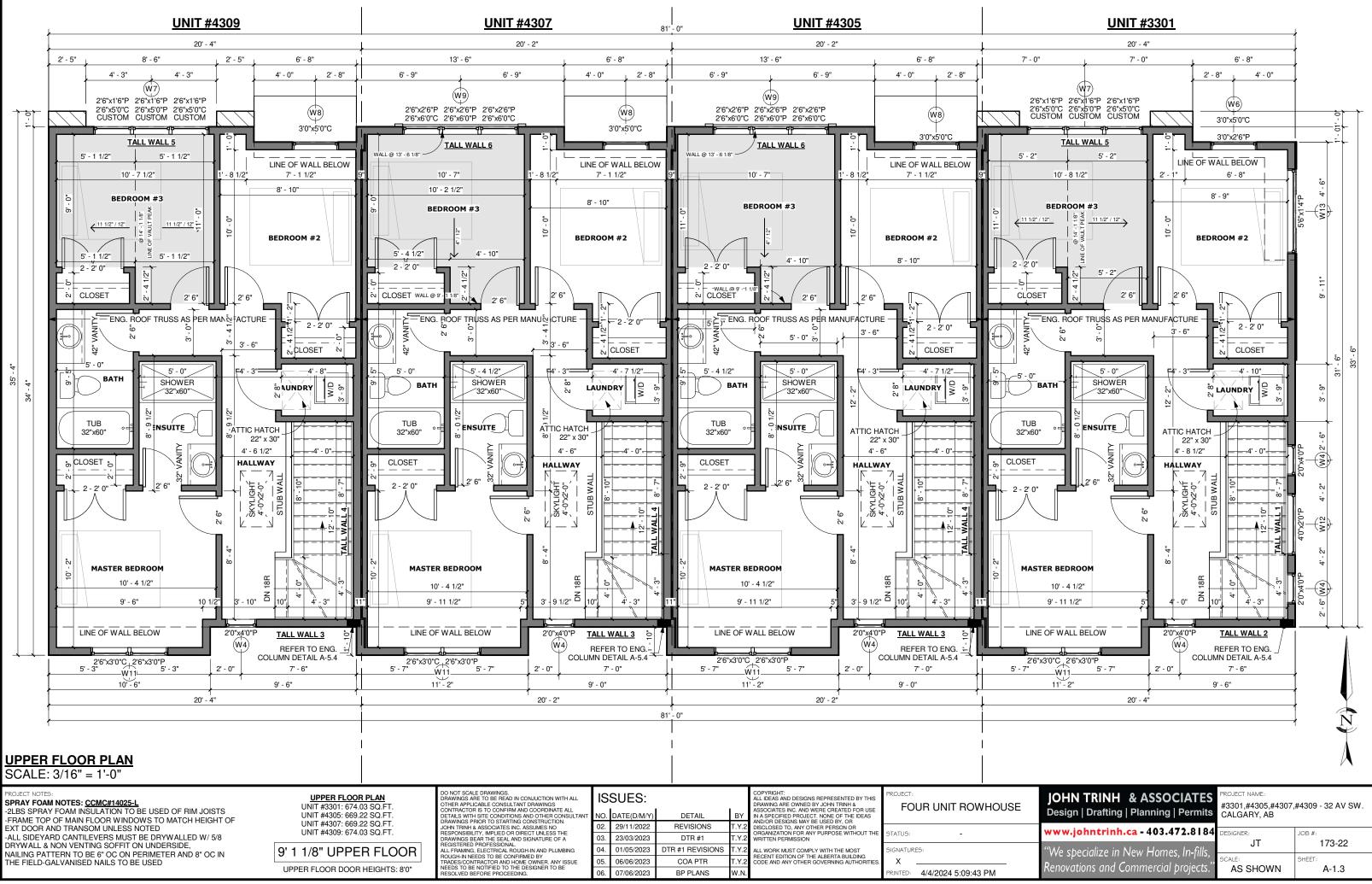
	LIST OF DRAWINGS
A-0.0	Cover Page
A-1.0	Foundation plan
A-1.1	Basement Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.5	Roof Plan
A-2.0	Front Elevation
A-2.1	Rear Elevation
A-2.2	Left Elevation
A-2.3	Right Elevation
A-3.0	Garage Plan
A-3.1	Garage Elevation 1
A-3.2	Garage Elevation 2
A-3.3	Garage Sections

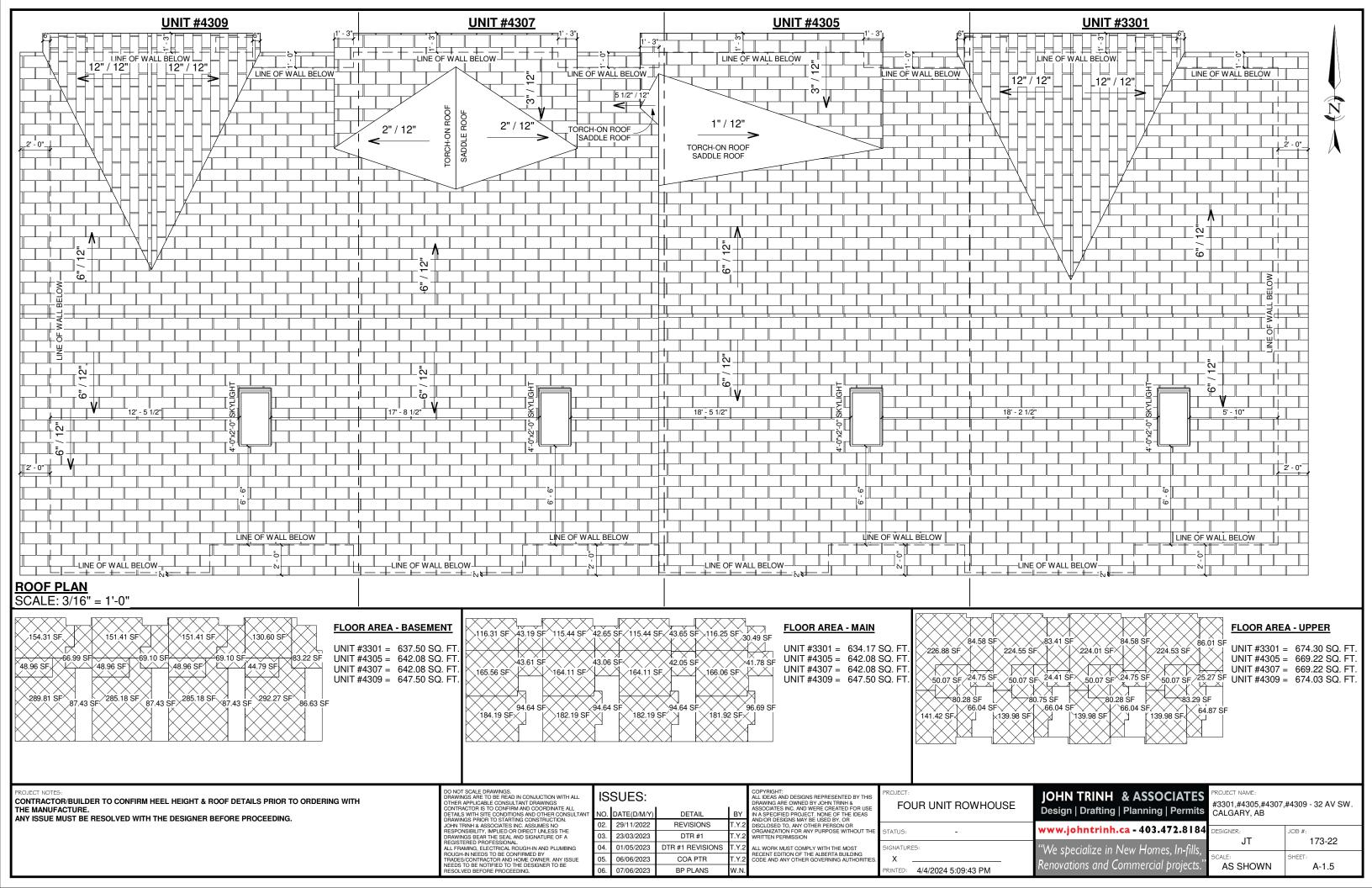
SE	JOHN TRINH & ASSOCIATES Design   Drafting   Planning   Permits	#3301 #4305 #4307 #4309 - 32 AV SW			
	www.johntrinh.ca - 403.472.8184	DESIGNER:	JOB #: 173-22		
	"We specialize in New Homes, In-fills, Renovations and Commercial projects."	SCALE: AS SHOWN	SHEET: A-0.0		

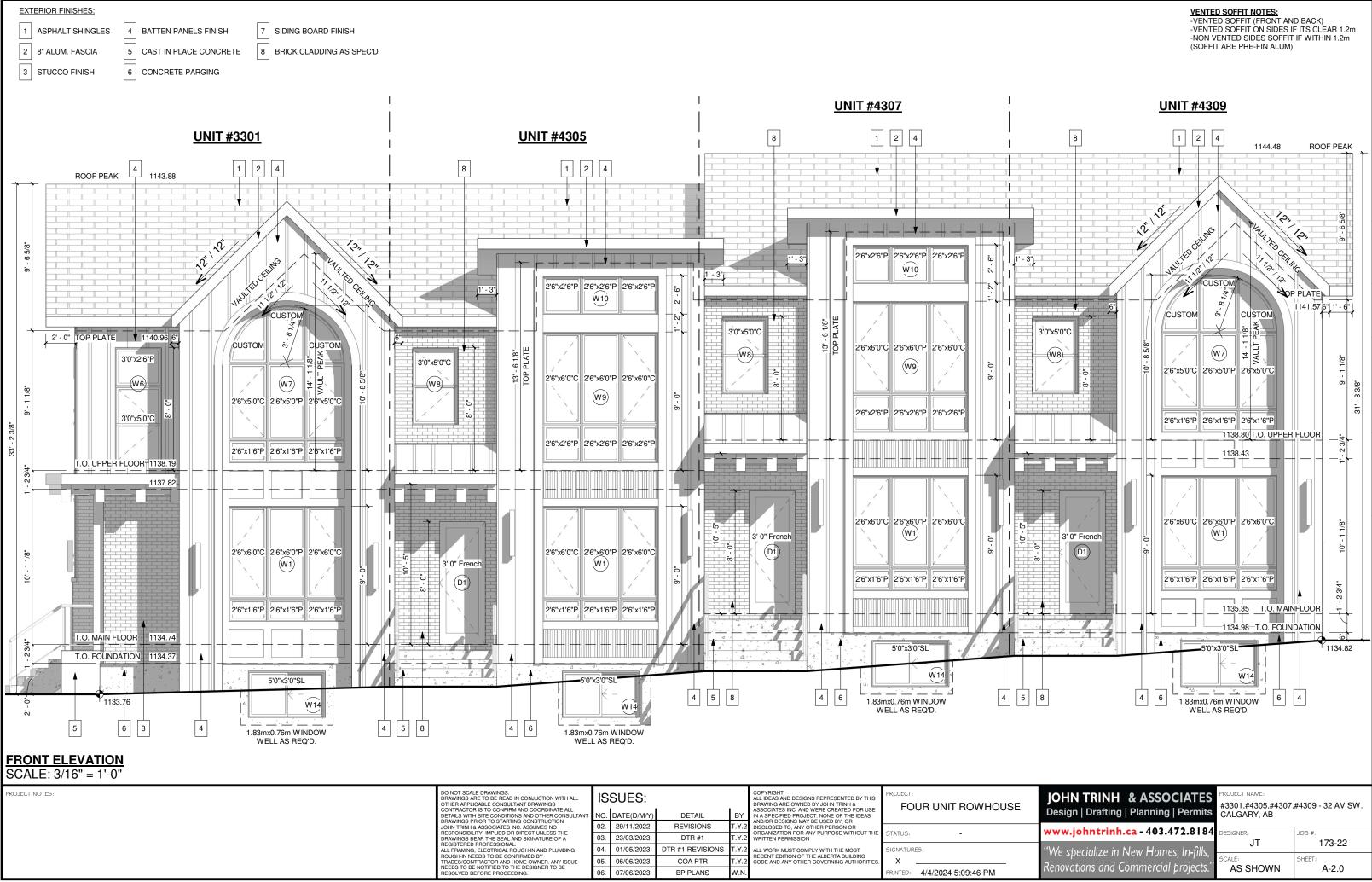


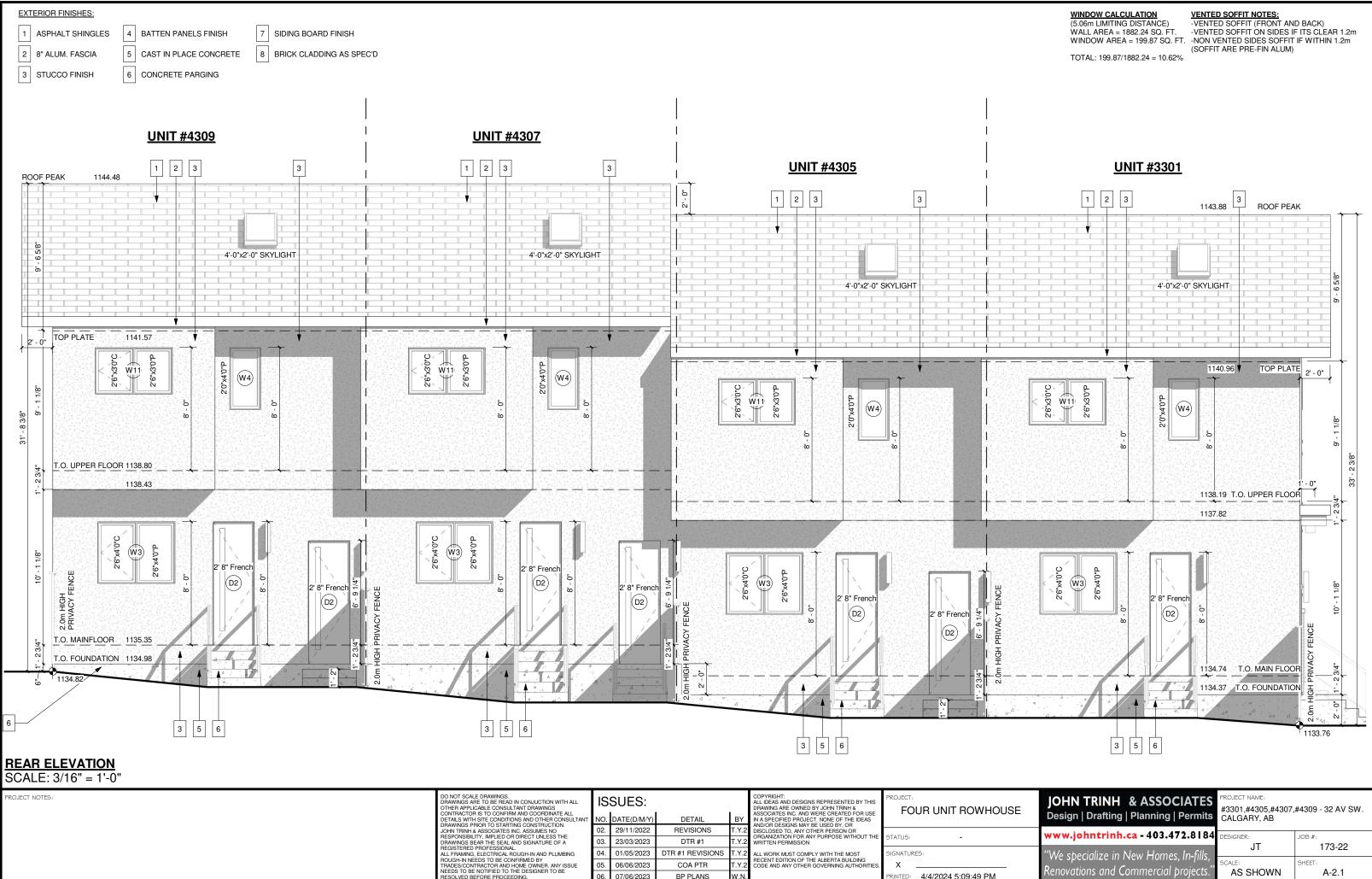




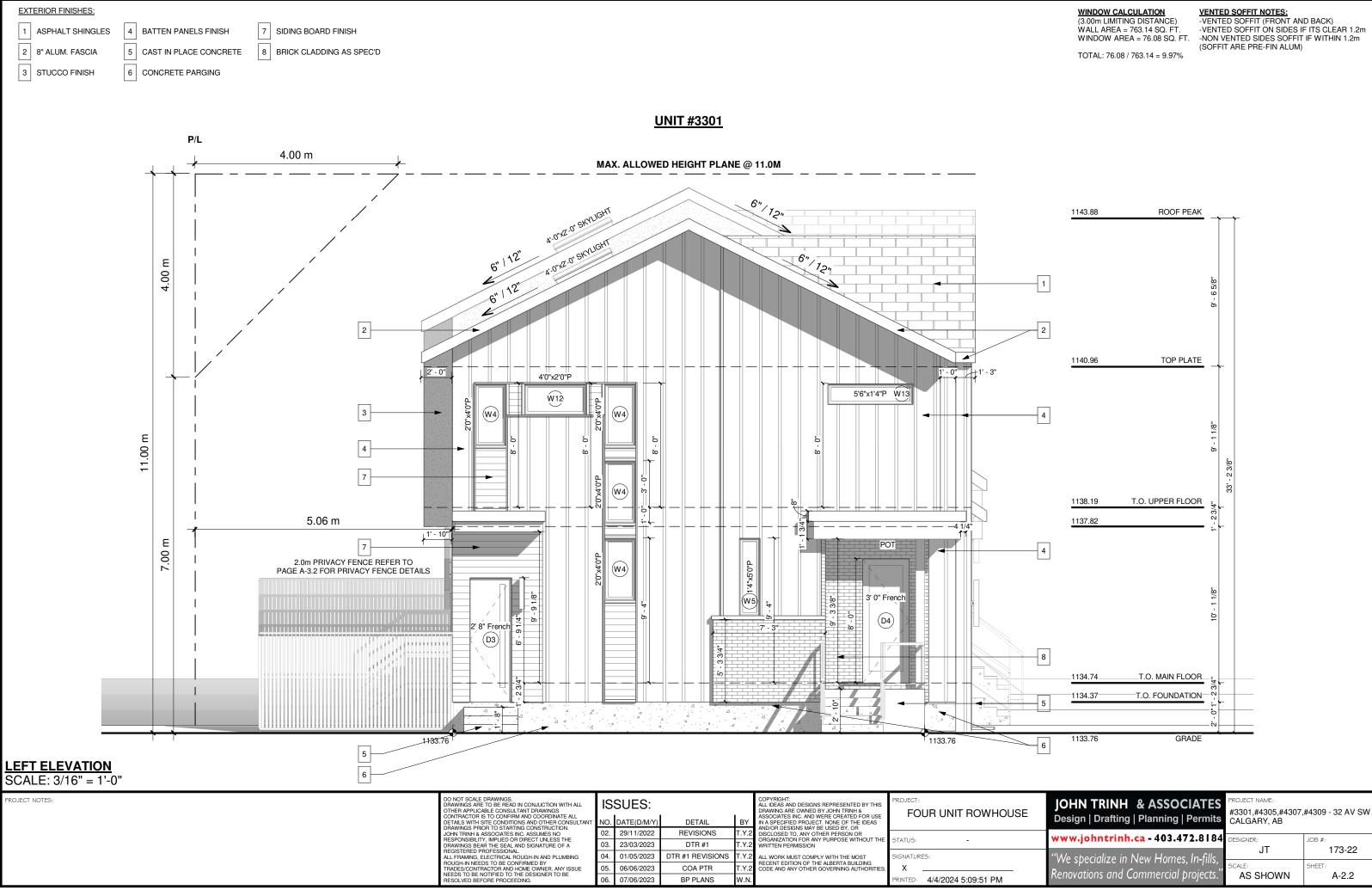




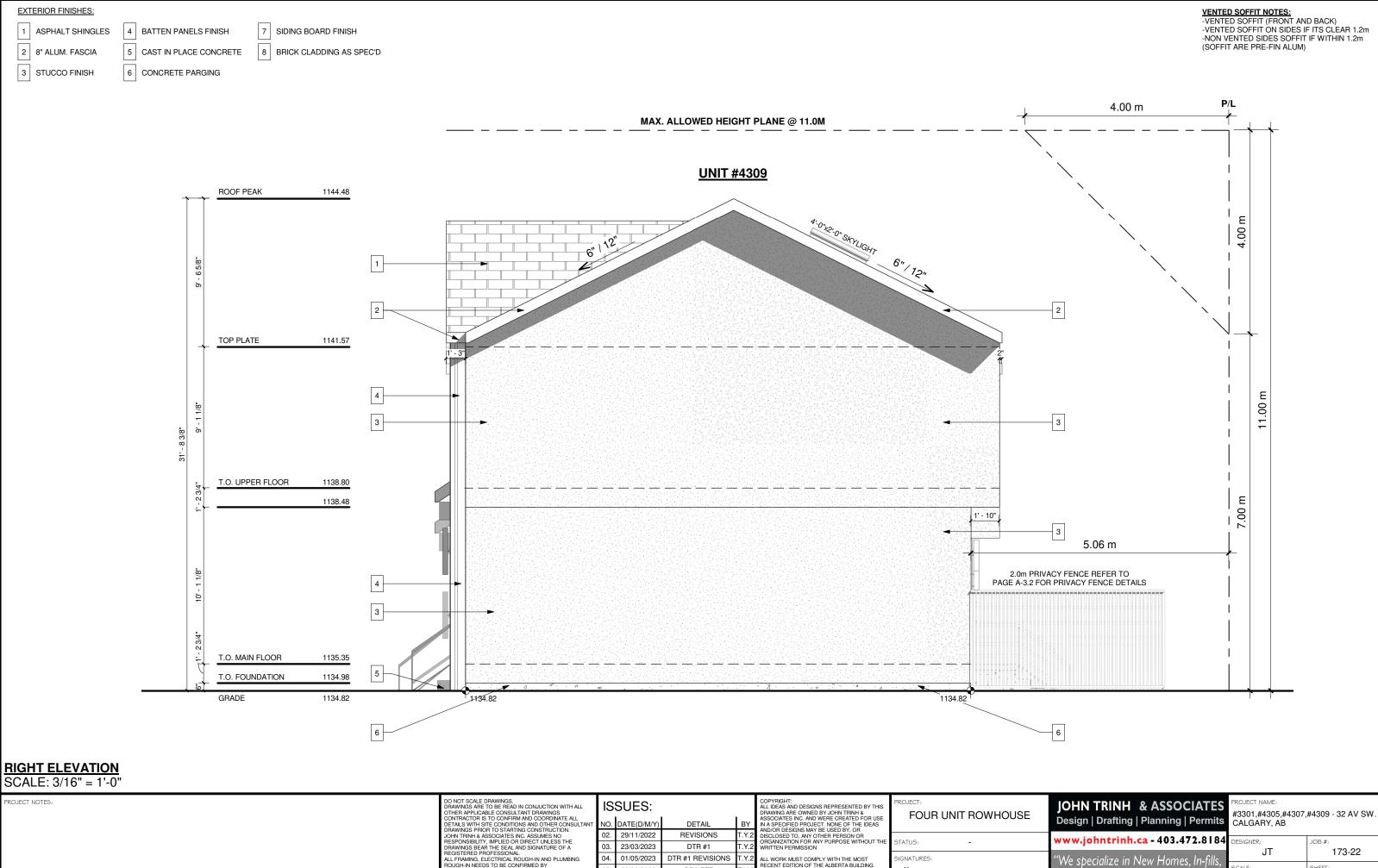




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DO NOT SCALE DRAWINGS. DRAWINGS ARE TO BE READ IN CONJUCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETALLS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STATTING CONSTRUCTION.	NO.	SUES: DATE(D/M/Y)			AND/OR DESIGNS MAY BE LISED BY, OR	PROJECT: FOUR UNIT ROWHOUSE
JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A	02. 03.	29/11/2022 23/03/2023			DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION	STATUS: -
REGISTERED PROFESSIONAL. ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING	04.	01/05/2023	DTR #1 REVISIONS		ALL WORK MUST COMPLY WITH THE MOST	SIGNATURES:
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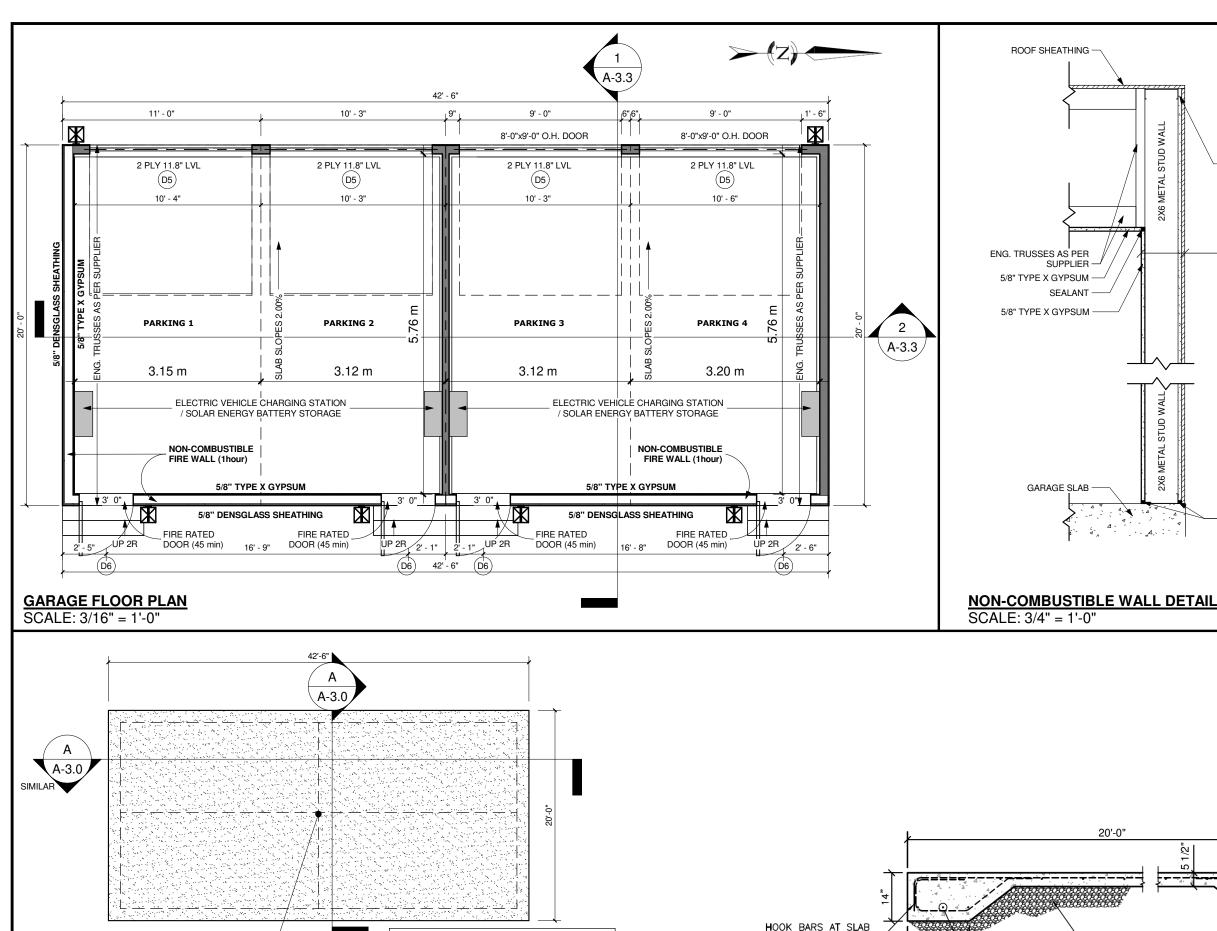
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Renovations and Commercial projects

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A-2.3

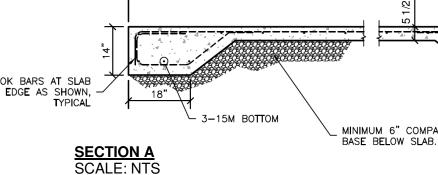




TYPE 50 CEMENT UNLESS RECOMMENDED

OTHERWISE BY GEOTECHNICAL ENGINEER.

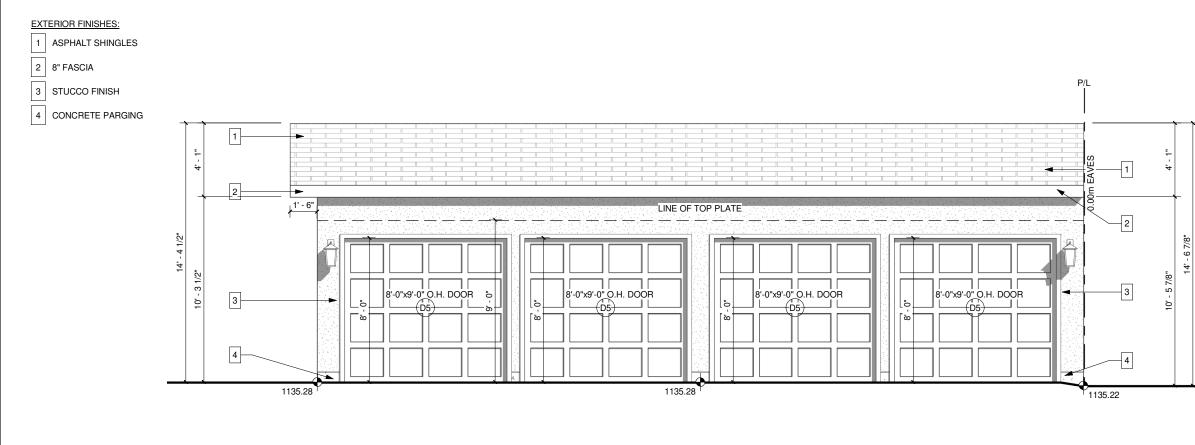




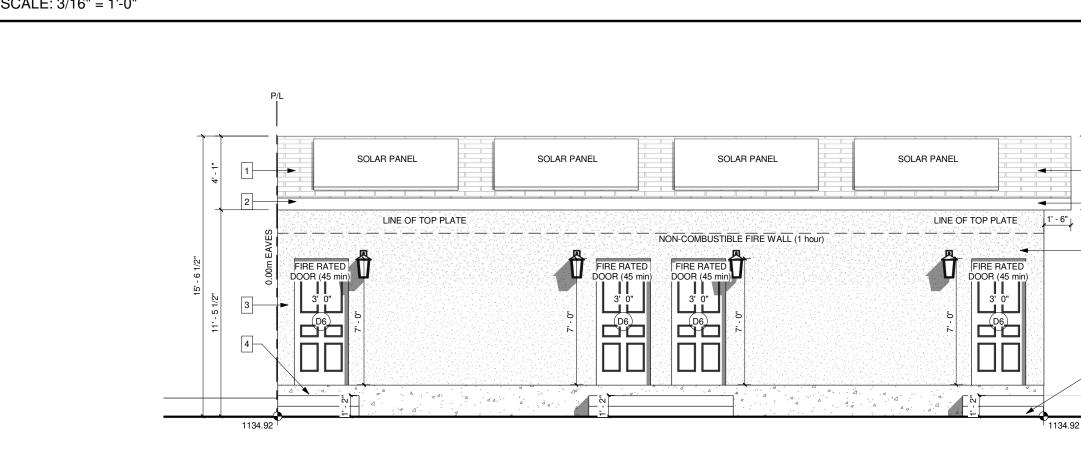
FOR SOLAR PV AT LEAST 2.5cm (1") NOMINAL DIAMETER CONSTRUCTED OF RIGID OR FLEXIBLE METAL CONDUIT, RIGID PVC CONDUIT, LIQUID TIGHT FLEXIBLE CONDUIT OR ELECTRICAL METALLIC TUBING (AS PER SECTION 12 OF THE CANADIAN ELECTRICAL CODE PART 1 CONCERNING "RACEWAYS") SHOULD BE INSTALLED. NON-COMBUSTIBLE WALL TO BE - CONTINUOUS FROM SLAB TO UNDERSIDE OF ROOF SHEATHING ULC-S101 DESIGN #w456 NON-COMBUSTIBLE FIRE WALL (1hour) STUCCO OR EQUIVALENT (AS PER O NOT SCALE DRAWINGS. DRAWINGS ARE TO BE READ IN CONJUCTION WITH ALL ELEV. DRAWING) AS PER DRAWINGS ARE TO BE HEAD IN CONJUCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH STE CONDITIONS AND OTHER CONSULTAN DRAWINGS PRIOR TO STARTING CONSTRUCTION. JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL. MANUFACTURER'S SPECS 2-PLY BUILDING PAPER 5/8" DENSGLASS SHEATHING 2X6 METAL STUDS @ 24" O.C. (UNLESS OTHERWISE NOTED) MIN. BATT-12 INSULATION 6 MIL. (0.15mm) POLY VAPOUR BARRIER ALL FRAMING, ELECTRICAL ROUGH-IN (WARM SIDE OF STUD) AND PLUMBING ROUGH-IN NEEDS TO BE 5/8" TYPE "X" GYPSUM BOARD INTERIOR FINISH CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING ISSUES: NO. DATE(D/M/Y DETAIL 02. 29/11/2022 REVISIONS ТΥ 23/03/2023 DTR #1 01/05/2023 OTR #1 REVISIONS COA PTR 06/06/2023 07/06/2023 **BP PLANS** 1.W SEALANT **JOHN TRINH & ASSOCIATES** Design | Drafting | Planning | Permits <mark>www.johntrinh.ca</mark> - 403.472.8184 "We specialize in New Homes, In-fi enovations and Commercial projects COPYRIGHT ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT, NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER OVERNING AUTHORITIES. ROJECT FOUR UNIT ROWHOUSE TATUS IGNATURES х RINTED: 4/4/2024 5:09:55 PM 2" COVER ROJECT NAME: #3301,#4305,#4307,#4309 - 32 AV SW CALGARY, AB ESIGNER JOB #: JT 173-22 MINIMUM 6" COMPACTED GRAVEL CALE: SHEET AS SHOWN A-3.0

OUECT NOTE

SOLAR ENERGY NOTES:



GARAGE FRONT SCALE: 3/16" = 1'-0"



GARAGE REAR SCALE: 3/16" = 1'-0"

	PROJECT NOTES:
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	DO NOT SCALE DRAWINGS.
	DRAWINGS ARE TO BE READ IN CONJUCTION WITH ALL
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	DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.
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	RESOLVED BEFORE PROCEEDING
	ISSUES:
	1330E3.
	NO. DATE(D/M/Y) DETAIL BY
	02. 29/11/2022 REVISIONS T.Y.2
	03. 23/03/2023 DTR #1 T.Y.2
	04. 01/05/2023 DTR #1 REVISIONS T.Y.2
	05. 06/06/2023 COA PTR T.Y.2
	06. 07/06/2023 BP PLANS W.N.
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	www.johntrinh.ca - 403.472.8184         "We specialize in New Homes, In-fills, Renovations and Commercial projects."         COPYRIGHT:         ALL IDEAS AND DESIGNS REPRESENTED BY         THIS DRAWING ARE OWNED BY JOHN TRINH         & ASSOCIATES INC. AND WERE CREATED         OF THE IDEAS AND/OR DESIGNS MAY BE         USED BY, OR ORGANIZATION FOR ANY         PURPOSE WITHOUT THE WRITTEN         PERSON OR ORGANIZATION FOR ANY         PURPOSE WITHOUT THE WRITTEN         PERSON OR ORGANIZATION FOR ANY         PURPOSE WITHOUT THE WRITTEN         PERSON OR ORGANIZATION FOR ANY         PURPOSE WITHOUT THE WRITTEN         PERSON         ALL WORK MUST COMPLY WITH THE MOST         RECENT EDITION OF THE ALBERTA         BUILDING CODE AND ANY OTHER         GOVERNING AUTHORITIES.         PROJECT:         FOUR UNIT ROWHOUSE         STATUS:       -         SIGNATURES:         X         PRINTED:       4/4/2024 5:09:55 PM         PROJECT NAME:         #3301,#4305,#4307,#4309 - 32         AV SW.         CALGARY, AB
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-1 -

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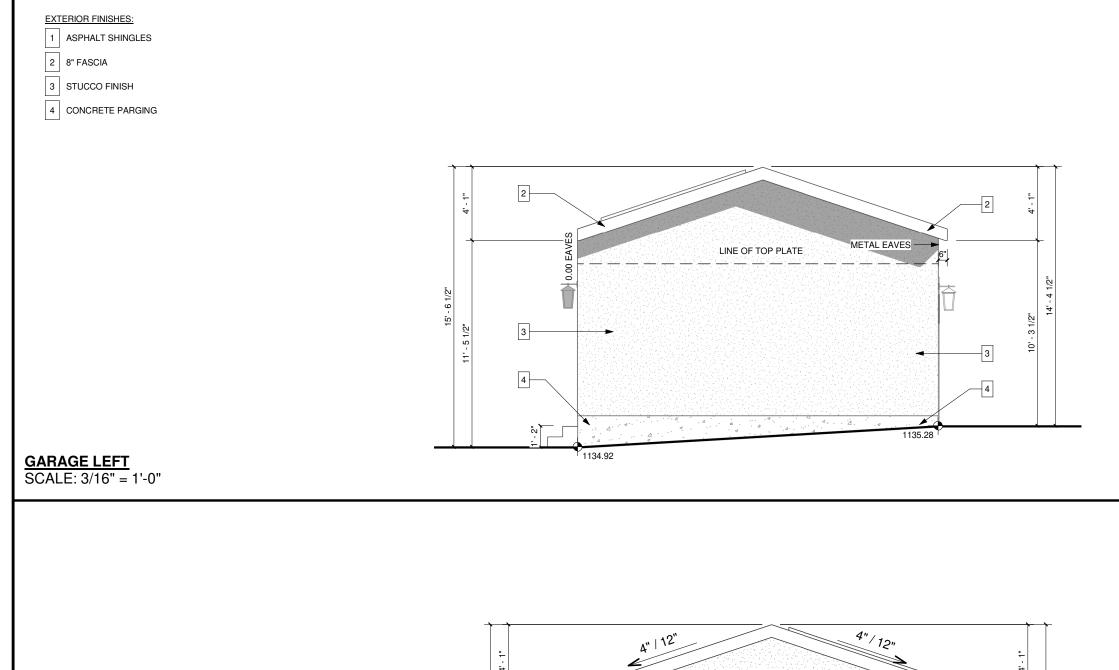
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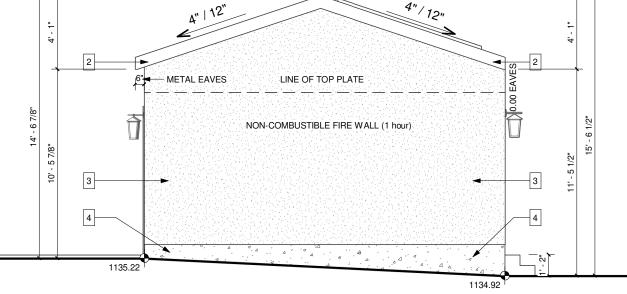
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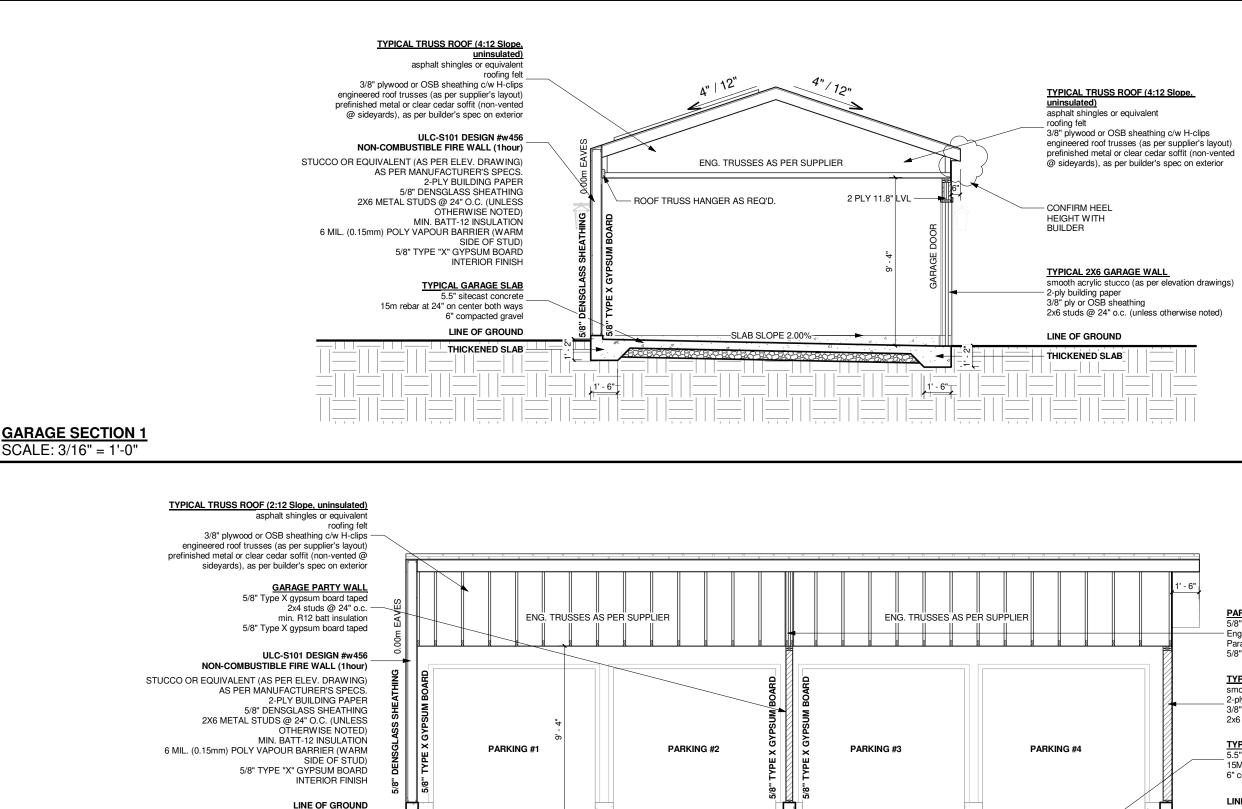
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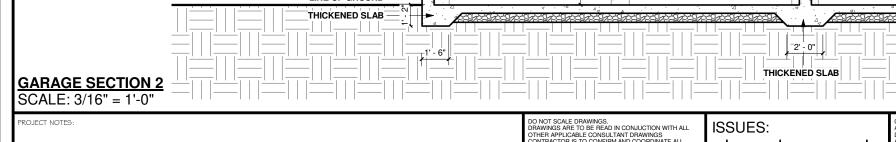




GARAGE RIGHT SCALE: 3/16" = 1'-0"

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DRAWINGS PRIOR TO STARTING CONSTRUCTION. JOHN TRINH & ASSOCIATES INC. ASSUMES NO	ISSUES: NO. DATE(D/M/Y) DETAIL BY				COPYRIGHT: ALL IDEAS AND DESKINS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT. NONE OF THE IDEAS AND/OR DESKINS MAY BE USED BY, OR	PROJECT: FOUR UNIT ROWHOUSE	
	02.	29/11/2022			DISCLOSED TO, ANY OTHER PERSON OR OBGANIZATION FOR ANY PUBPOSE WITHOUT THE	STATUS:	-
DRAWINGS BEAR THE SEAL AND SIGNATURE OF A	03.	23/03/2023	DTR #1	T.Y.2	WRITTEN PERMISSION		
REGISTERED PROFESSIONAL. ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING		01/05/2023	DTR #1 REVISIONS	T.Y.2	ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING	SIGNATUR	ES:
ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE	05.	06/06/2023	COA PTR	T.Y.2	CODE AND ANY OTHER GOVERNING AUTHORITIES.	Х	
RESOLVED BEFORE PROCEEDING.	06.	07/06/2023	BP PLANS	W.N.		PRINTED:	4/4/2024 5:09:56 PM

### PARTY WALL IN TRUSS

5/8" Exterior grade Type X gypsum board taped - Engineered roof truss (as per supplier's layout) Parallel to party wall 5/8" Exterior grade Type X gypsum board taped

# TYPICAL 2X6 GARAGE WALL smooth acrylic stucco (as per elevation drawings)

2-ply building paper 3/8" ply or OSB sheathing 2x6 studs @ 24" o.c. (unless otherwise noted)

## TYPICAL GARAGE SLAB

5.5" sitecast concrete 15M rebar at 24" on center both ways 6" compacted gravel

### LINE OF GROUND



E	JOHN TRINH & ASSOCIATES Design   Drafting   Planning   Permits					
	www.johntrinh.ca - 403.472.8184	DESIGNER: JT	JOB #: 173-22			
	"We specialize in New Homes, In-fills, Renovations and Commercial projects."	SCALE: AS SHOWN	SHEET: A-3.3			