



LIST OF DRAWINGS	
A-0.0	Cover Page
A-1.0	Foundation plan
A-1.1	Basement Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.5	Roof Plan
A-2.0	Front Elevation
A-2.1	Rear Elevation
A-2.2	Left Elevation
A-2.3	Right Elevation
A-3.0	Garage Plan
A-3.1	Garage Elevation 1
A-3.2	Garage Elevation 2
A-3.3	Garage Sections



FLOOR AREA - UNIT# 3301		FLOOR AREA - UNIT# 4305		FLOOR AREA - UNIT# 4307		FLOOR AREA - UNIT# 4309	
BASEMENT	= 637.50 SQ. FT.	BASEMENT	= 642.08 SQ. FT.	BASEMENT	= 642.08 SQ. FT.	BASEMENT	= 647.50 SQ. FT.
MAIN	= 634.17 SQ. FT.	MAIN	= 642.08 SQ. FT.	MAIN	= 642.08 SQ. FT.	MAIN	= 647.50 SQ. FT.
UPPER	= 674.30 SQ. FT.	UPPER	= 669.22 SQ. FT.	UPPER	= 669.22 SQ. FT.	UPPER	= 674.03 SQ. FT.
TOTAL	= 1308.47 SQ. FT.	TOTAL	= 1311.30 SQ. FT.	TOTAL	= 1311.30 SQ. FT.	TOTAL	= 1321.53 SQ. FT.

PROJECT NOTES:

DO NOT SCALE DRAWINGS. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION. JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL. ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
02.	29/11/2022	REVISIONS	T.Y.2
03.	23/03/2023	DTR #1	T.Y.2
04.	01/05/2023	DTR #1 REVISIONS	T.Y.2
05.	06/06/2023	COA PTR	T.Y.2
06.	07/06/2023	BP PLANS	W.N.

COPYRIGHT: ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT. NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT: FOUR UNIT ROWHOUSE

STATUS: -

SIGNATURES: X

PRINTED: 4/4/2024 5:09:37 PM

JOHN TRINH & ASSOCIATES  
Design | Drafting | Planning | Permits

www.johntrinh.ca - 403.472.8184

"We specialize in New Homes, In-fills, Renovations and Commercial projects."

PROJECT NAME: #3301,#4305,#4307,#4309 - 32 AV SW. CALGARY, AB

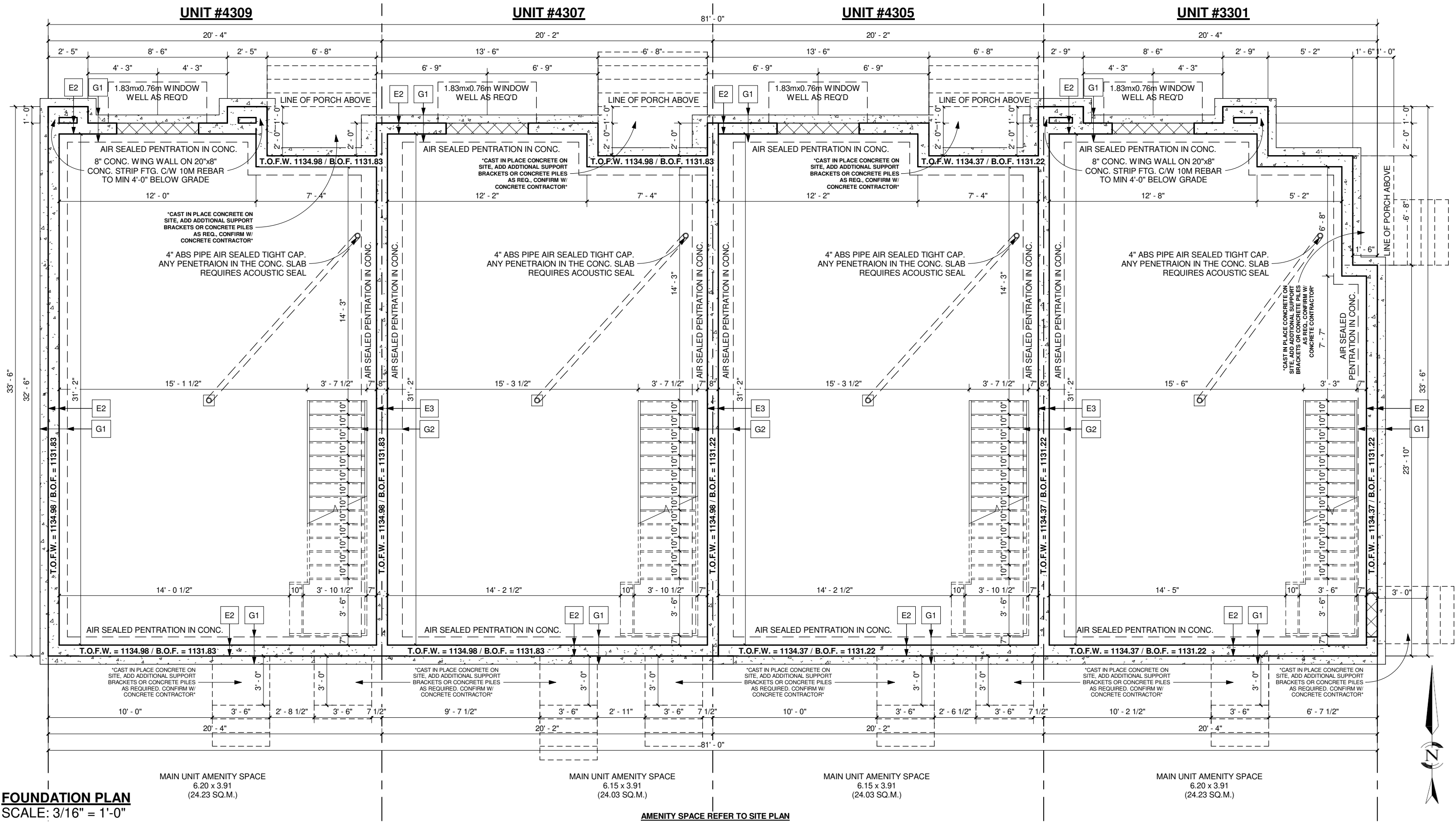
DESIGNER: JT

SCALE: AS SHOWN

JOB #: 173-22

SHEET: A-0.0





**FOUNDATION PLAN**  
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

FOR RADON PIPE SIZE: THE CODE IS NOT SPECIFIC ON THE TYPE OF PIPE THAT MAY BE USED, ONLY ON THE DIMENSION OF NOT LESS THAN 100MM (4")

DO NOT SCALE DRAWINGS. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION. JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL. ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

ISSUES:			
NO.	DATE(D/M/Y)	DETAIL	BY
02.	29/11/2022	REVISIONS	T.Y.2
03.	23/03/2023	DTR #1	T.Y.2
04.	01/05/2023	DTR #1 REVISIONS	T.Y.2
05.	06/06/2023	COA PTR	T.Y.2
06.	07/06/2023	BP PLANS	W.N.

COPYRIGHT: ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIC PROJECT. NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT: FOUR UNIT ROWHOUSE

STATUS: -

SIGNATURES: X

PRINTED: 4/4/2024 5:09:38 PM

**JOHN TRINH & ASSOCIATES**  
Design | Drafting | Planning | Permits

[www.johntrinh.ca](http://www.johntrinh.ca) - 403.472.8184

"We specialize in New Homes, In-fills, Renovations and Commercial projects."

PROJECT NAME: #3301, #4305, #4307, #4309 - 32 AV SW. CALGARY, AB

DESIGNER: JT

SCALE: AS SHOWN

JOB #: 173-22

SHEET: A-1.0



**BASEMENT PLAN**  
SCALE: 3/16" = 1'-0"

UNIT #4309: 20' - 4" x 33' - 6" (6.20 x 3.91 (24.23 SQ.M.))  
UNIT #4307: 20' - 2" x 33' - 6" (6.15 x 3.91 (24.03 SQ.M.))  
UNIT #4305: 20' - 2" x 33' - 6" (6.15 x 3.91 (24.03 SQ.M.))  
UNIT #3301: 20' - 4" x 33' - 6" (6.20 x 3.91 (24.23 SQ.M.))

MAIN UNIT AMENITY SPACE: 6.20 x 3.91 (24.23 SQ.M.)  
MAIN UNIT AMENITY SPACE: 6.15 x 3.91 (24.03 SQ.M.)  
MAIN UNIT AMENITY SPACE: 6.15 x 3.91 (24.03 SQ.M.)  
MAIN UNIT AMENITY SPACE: 6.20 x 3.91 (24.23 SQ.M.)

AMENITY SPACE REFER TO SITE PLAN

PROJECT NOTES:

**WITH LIFEBREATH RNC 205 HEAT RECOVERY VENTILATION**  
(SEE SPEC. FOR DETAILS A-5.9)

- BRADFORD WATER HEATER WITH 0.67-0.70 ENERGY STAR RATING AND 70-80 RECOVERY EFFICIENCY
- LENNOX FURNACE WITH AFUE Rating of 95% - 98.7%
- ENSURE HEADROOM AT ELEC. PANEL IS MIN 6'-6" AND HAS 39" CLEARANCE
- EXACT FURNACE & HWT LOCATION & ORIENTATION TO BE DETERMINE BY HEATING CONTRACTOR. RADON PIPING LOCATION TBD ON SITE.

**BASEMENT FLOOR AREA**

UNIT #3301 -	637.50 SQ.FT.
UNIT #4305 -	642.08 SQ.FT.
UNIT #4307 -	642.08 SQ.FT.
UNIT #4309 -	647.50 SQ.FT.

**9' 0" BASEMENT**

BASEMENT DOOR HEIGHTS: 6'8"

DO NOT SCALE DRAWINGS. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION. JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT, UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL. ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

**ISSUES:**

NO.	DATE(D/M/Y)	DETAIL	BY
02.	29/11/2022	REVISIONS	T.Y.2
03.	23/03/2023	DTR #1	T.Y.2
04.	01/05/2023	DTR #1 REVISIONS	T.Y.2
05.	06/06/2023	COA PTR	T.Y.2
06.	07/06/2023	BP PLANS	W.N.

COPYRIGHT: ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT. NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT: **FOUR UNIT ROWHOUSE**

STATUS: -

SIGNATURES: X

PRINTED: 4/4/2024 5:09:39 PM

**JOHN TRINH & ASSOCIATES**  
Design | Drafting | Planning | Permits

[www.johntrinh.ca](http://www.johntrinh.ca) - 403.472.8184

"We specialize in New Homes, In-fills, Renovations and Commercial projects."

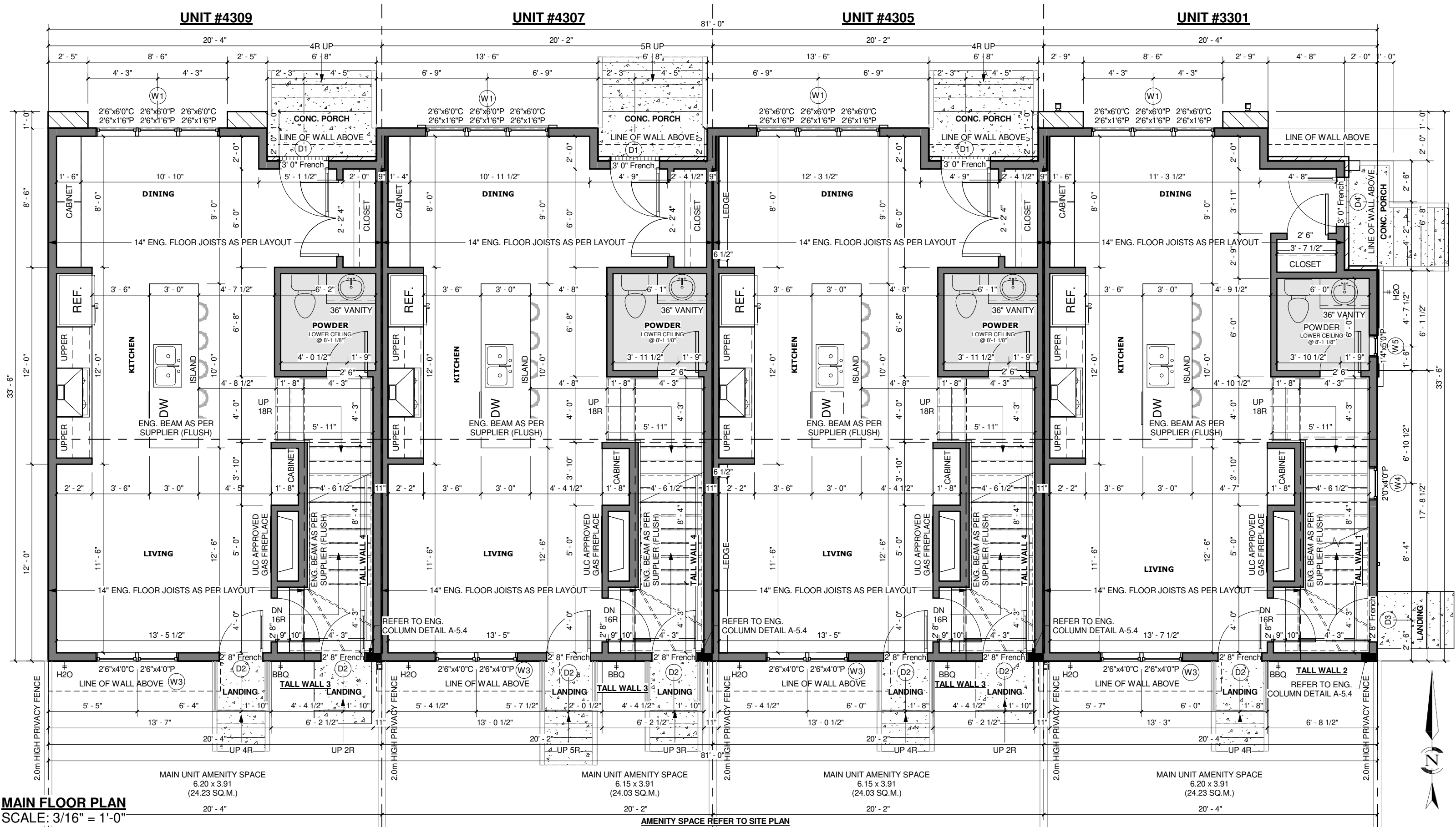
PROJECT NAME: #3301, #4305, #4307, #4309 - 32 AV SW. CALGARY, AB

DESIGNER: JT

SCALE: AS SHOWN

JOB #: 173-22

SHEET: A-1.1



**MAIN FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

**SPRAY FOAM NOTES: CCMC#14025-L**

-2LBS SPRAY FOAM INSULATION TO BE USED OF RIM JOISTS

-FRAME TOP OF MAIN FLOOR WINDOWS TO MATCH HEIGHT OF EXT DOOR AND TRANSOM UNLESS NOTED

-ALL SIDEYARD CANTILEVERS MUST BE DRYWALLED W/ 5/8 DRYWALL & NON VENTING SOFFIT ON UNDERSIDE

NAILING PATTERN TO BE 6" OC ON PERIMETER AND 8" OC IN THE FIELD-GALVANISED NAILS TO BE USED

**MAIN FLOOR PLAN**

UNIT #3301: 634.17 SQ.FT.

UNIT #4305: 642.08 SQ.FT.

UNIT #4307: 642.08 SQ.FT.

UNIT #4309: 647.50 SQ.FT.

**10' 1 1/8" MAIN FLOOR**

MAIN FLOOR DOOR HEIGHTS: 8'0"

DO NOT SCALE DRAWINGS.

DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS

CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.

JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

**ISSUES:**

NO.	DATE(D/M/Y)	DETAIL	BY
02.	29/11/2022	REVISIONS	T.Y.2
03.	23/03/2023	DTR #1	T.Y.2
04.	01/05/2023	DTR #1 REVISIONS	T.Y.2
05.	06/06/2023	COA PTR	T.Y.2
06.	07/06/2023	BP PLANS	W.N.

COPYRIGHT:

ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT. NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT:

**FOUR UNIT ROWHOUSE**

STATUS: -

SIGNATURES:

X

PRINTED: 4/4/2024 5:09:42 PM

**JOHN TRINH & ASSOCIATES**

Design | Drafting | Planning | Permits

[www.johntrinh.ca](http://www.johntrinh.ca) - 403.472.8184

"We specialize in New Homes, In-fills, Renovations and Commercial projects."

PROJECT NAME:

#3301, #4305, #4307, #4309 - 32 AV SW. CALGARY, AB

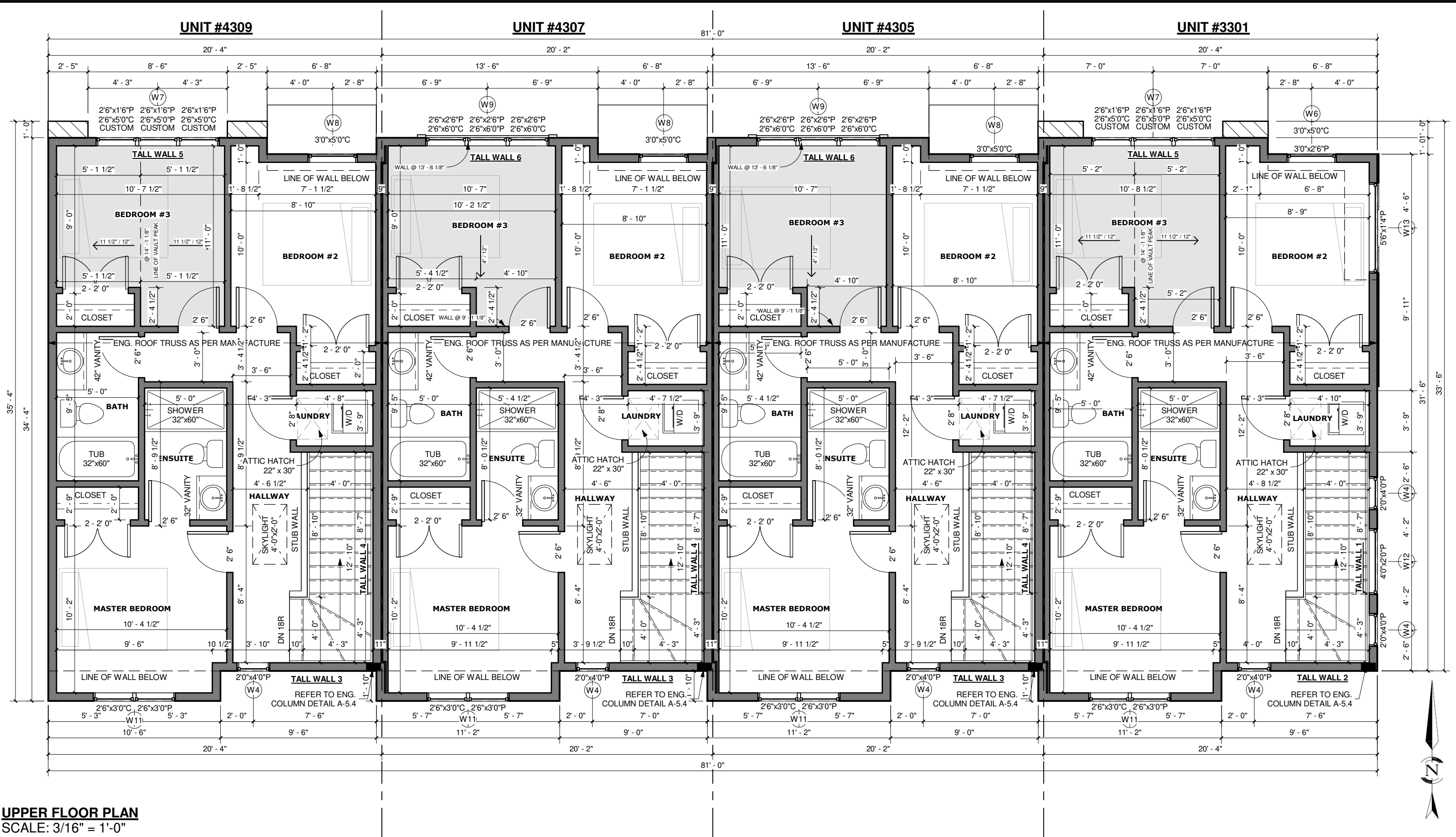
DESIGNER: JT

SCALE: AS SHOWN

JOB #: 173-22

SHEET: A-1.2





**UPPER FLOOR PLAN**  
SCALE: 3/16" = 1'-0"

PROJECT NOTES:  
**SPRAY FOAM NOTES: CCMC#14025-L**  
-2LBS SPRAY FOAM INSULATION TO BE USED OF RIM JOISTS  
-FRAME TOP OF MAIN FLOOR WINDOWS TO MATCH HEIGHT OF  
EXT DOOR AND TRANSOM UNLESS NOTED  
-ALL SIDEYARD CANTILEVERS MUST BE DRYWALLED W/ 5/8  
DRYWALL & NON VENTING SOFFIT ON UNDERSIDE  
NAILING PATTERN TO BE 6" OC ON PERIMETER AND 8" OC IN  
THE FIELD-GALVANISED NAILS TO BE USED

**UPPER FLOOR PLAN**  
UNIT #3301: 674.03 SQ.FT.  
UNIT #4305: 669.22 SQ.FT.  
UNIT #4307: 669.22 SQ.FT.  
UNIT #4309: 674.03 SQ.FT.

**9' 1 1/8" UPPER FLOOR**  
UPPER FLOOR DOOR HEIGHTS: 8'0"

DO NOT SCALE DRAWINGS.  
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL  
OTHER APPLICABLE CONSULTANT DRAWINGS  
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL  
DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT  
DRAWINGS PRIOR TO STARTING CONSTRUCTION.  
JOHN TRINH & ASSOCIATES INC. ASSUMES NO  
RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE  
DRAWINGS BEAR THE SEAL AND SIGNATURE OF A  
REGISTERED PROFESSIONAL  
ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING  
ROUGH-IN NEEDS TO BE CONFIRMED BY  
TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE  
NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE  
RESOLVED BEFORE PROCEEDING.

ISSUES:			
NO.	DATE(D/M/Y)	DETAIL	BY
02.	29/11/2022	REVISIONS	T.Y.2
03.	23/03/2023	DTR #1	T.Y.2
04.	01/05/2023	DTR #1 REVISIONS	T.Y.2
05.	06/06/2023	COA PTR	T.Y.2
06.	07/06/2023	BP PLANS	W.N.

COPYRIGHT:  
ALL IDEAS AND DESIGNS REPRESENTED BY THIS  
DRAWING ARE OWNED BY JOHN TRINH &  
ASSOCIATES INC. AND WERE CREATED FOR USE  
IN A SPECIFIED PROJECT. NONE OF THE IDEAS  
AND/OR DESIGNS MAY BE USED BY, OR  
DISCLOSED TO, ANY OTHER PERSON OR  
ORGANIZATION FOR ANY PURPOSE WITHOUT THE  
WRITTEN PERMISSION

ALL WORK MUST COMPLY WITH THE MOST  
RECENT EDITION OF THE ALBERTA BUILDING  
CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT:  
**FOUR UNIT ROWHOUSE**

STATUS: -

SIGNATURES:  
X

PRINTED: 4/4/2024 5:09:43 PM

**JOHN TRINH & ASSOCIATES**  
Design | Drafting | Planning | Permits

[www.johntrinh.ca](http://www.johntrinh.ca) - 403.472.8184

"We specialize in New Homes, In-fills,  
Renovations and Commercial projects."

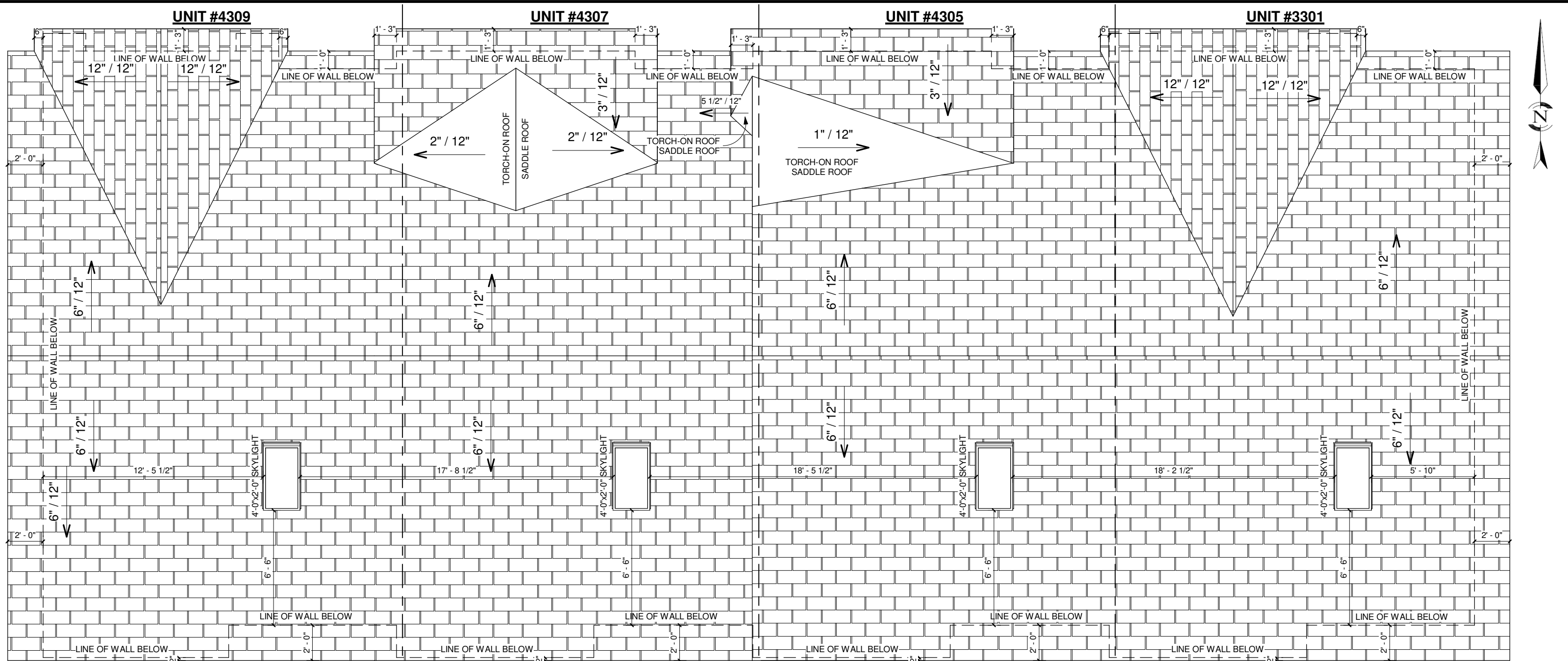
PROJECT NAME:  
**#3301, #4305, #4307, #4309 - 32 AV SW.  
CALGARY, AB**

DESIGNER:  
JT

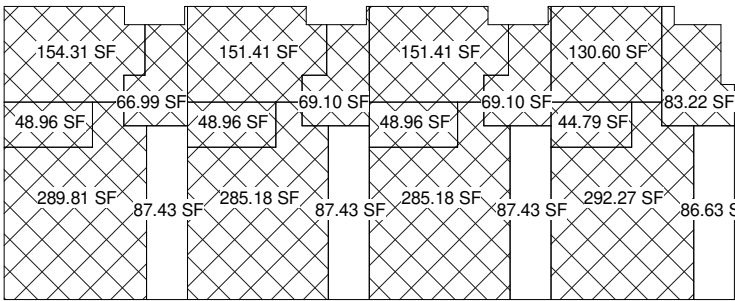
SCALE:  
AS SHOWN

JOB #:  
173-22

SHEET:  
A-1.3

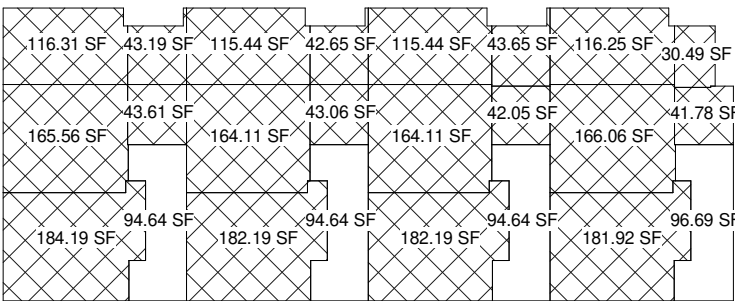


**ROOF PLAN**  
SCALE: 3/16" = 1'-0"



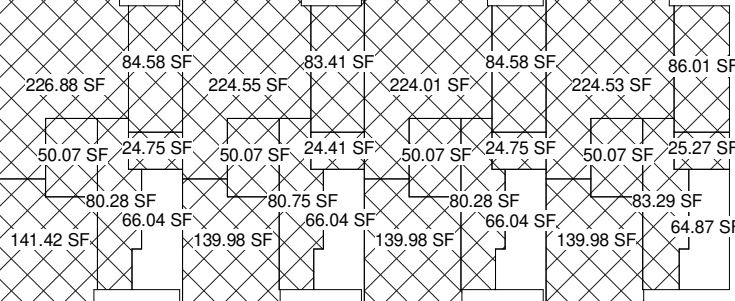
**FLOOR AREA - BASEMENT**

UNIT #3301 = 637.50 SQ. FT.  
UNIT #4305 = 642.08 SQ. FT.  
UNIT #4307 = 642.08 SQ. FT.  
UNIT #4309 = 647.50 SQ. FT.



**FLOOR AREA - MAIN**

UNIT #3301 = 634.17 SQ. FT.  
UNIT #4305 = 642.08 SQ. FT.  
UNIT #4307 = 642.08 SQ. FT.  
UNIT #4309 = 647.50 SQ. FT.



**FLOOR AREA - UPPER**

UNIT #3301 = 674.30 SQ. FT.  
UNIT #4305 = 669.22 SQ. FT.  
UNIT #4307 = 669.22 SQ. FT.  
UNIT #4309 = 674.03 SQ. FT.

PROJECT NOTES:

CONTRACTOR/BUILDER TO CONFIRM HEEL HEIGHT & ROOF DETAILS PRIOR TO ORDERING WITH THE MANUFACTURE.

ANY ISSUE MUST BE RESOLVED WITH THE DESIGNER BEFORE PROCEEDING.

DO NOT SCALE DRAWINGS.

DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS.

CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.

JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT, UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

ISSUES:			
NO.	DATE(D/M/Y)	DETAIL	BY
02.	29/11/2022	REVISIONS	T.Y.2
03.	23/03/2023	DTR #1	T.Y.2
04.	01/05/2023	DTR #1 REVISIONS	T.Y.2
05.	06/06/2023	COA PTR	T.Y.2
06.	07/06/2023	BP PLANS	W.N.

COPYRIGHT:

ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT. NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT:

FOUR UNIT ROWHOUSE

STATUS:

-

SIGNATURES:

X

PRINTED:

4/4/2024 5:09:43 PM

**JOHN TRINH & ASSOCIATES**

Design | Drafting | Planning | Permits

[www.johntrinh.ca](http://www.johntrinh.ca) - 403.472.8184

"We specialize in New Homes, In-fills, Renovations and Commercial projects."

PROJECT NAME:

#3301,#4305,#4307,#4309 - 32 AV SW. CALGARY, AB

DESIGNER:

JT

SCALE:

AS SHOWN

JOB #:

173-22

SHEET:

A-1.5

1	ASPHALT SHINGLES	4	BATTEN PANELS FINISH	7	SIDING BOARD FINISH
2	8" ALUM. FASCIA	5	CAST IN PLACE CONCRETE	8	BRICK CLADDING AS SPEC'D
3	STUCCO FINISH	6	CONCRETE PAVING		

PROJECT NOTES:

DO NOT SCALE DRAWINGS.  
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL  
OTHER APPLICABLE CONSULTANT DRAWINGS  
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL  
DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT  
DRAWINGS PRIOR TO STARTING CONSTRUCTION.  
JOHN TRIMBLE & ASSOCIATES, INC. ASSUMES NO  
RESPONSIBILITY IMPLIED OR DIRECT UNLESS THE  
DRAWINGS BEAR THE SEAL AND SIGNATURE OF A  
REGISTERED PROFESSIONAL.  
ALL FRAMING, ELECTRICAL, ROUGH-IN AND PLUMBING  
ROUGH-IN NEEDS TO BE CONFIRMED BY  
TRADES/CONTRACTOR AND HOME OWNER, ANY ISSUE  
NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE  
RESOLVED BEFORE PROCEEDING.

NO.	DATE(D/M/Y)	DETAIL	BY
02.	29/11/2022	REVISIONS	T.Y.2
03.	23/03/2023	DTR #1	T.Y.2
04.	01/05/2023	DTR #1 REVISIONS	T.Y.2
05.	06/06/2023	COA PTR	T.Y.2
06.	07/06/2023	BP PLANS	W.N.

COPYRIGHT:  
ALL IDEAS AND DESIGNS REPRESENTED BY THIS  
DRAWING ARE OWNED BY JOHN TRINH &  
ASSOCIATES INC. AND WERE CREATED FOR USE  
IN A SPECIFIED PROJECT. NONE OF THE IDEAS  
AND/OR DESIGNS MAY BE USED BY, OR  
DISCLOSED TO ANY OTHER PERSON OR  
ORGANIZATION FOR ANY PURPOSE WITHOUT THE  
WRITTEN PERMISSION

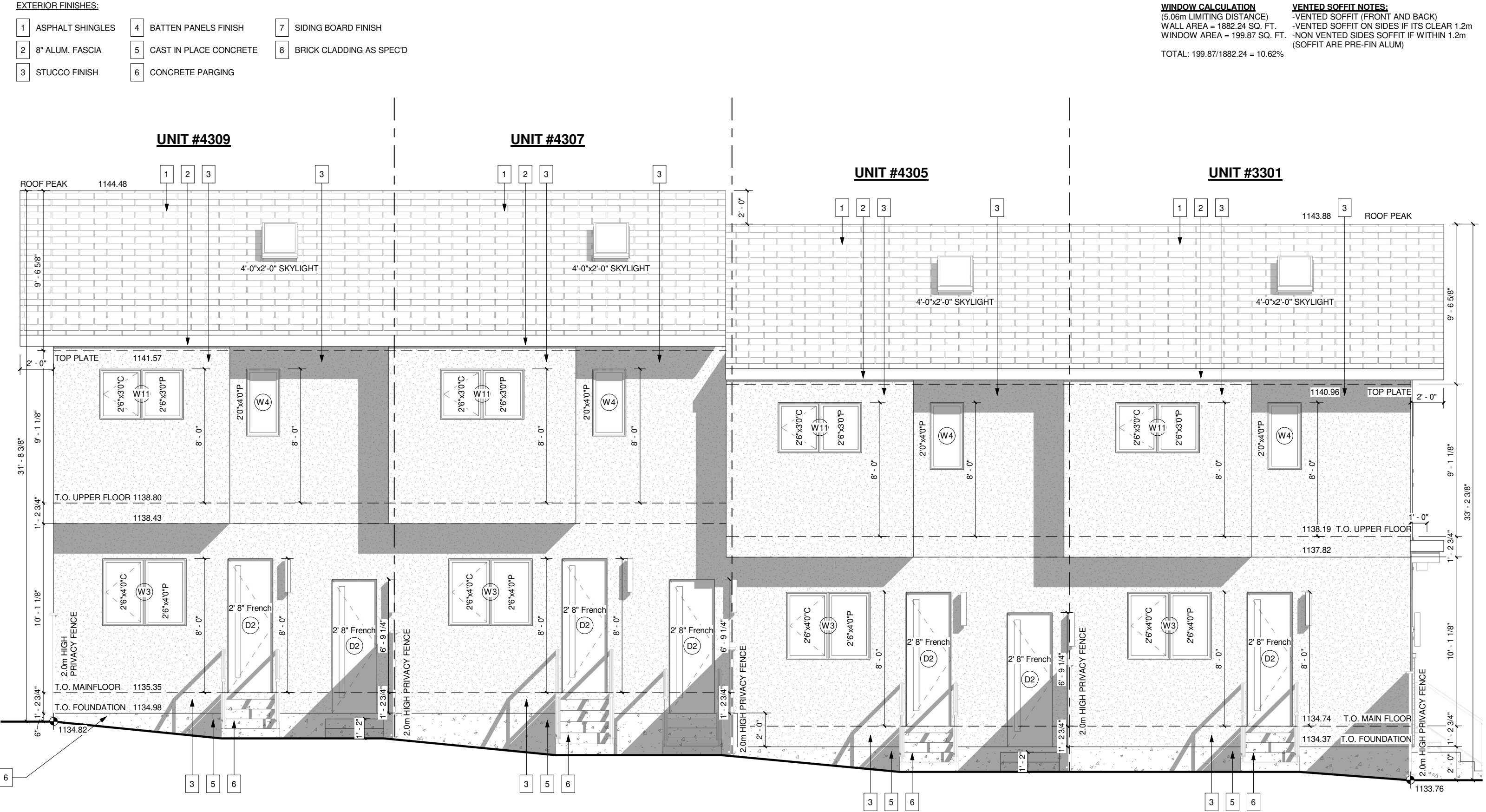
ALL WORK MUST COMPLY WITH THE MOST  
RECENT EDITION OF THE ALBERTA BUILDING  
CODE AND ANY OTHER GOVERNING AUTHORITIES

PROJECT:	
FOUR UNIT ROWHOUSE	
STATUS: -	
SIGNATURES:	
X	_____
PRINTED: 4/4/2024 5:09:46 PM	

**JOHN TRINH & ASSOCIATES**  
Design | Drafting | Planning | Permits  
**www.johntrinh.ca - 403.472.8184**  
*"We specialize in New Homes, In-fills,  
Renovations and Commercial projects."*

PROJECT NAME: <b>#3301,#4305,#4307,#4309 - 32 AV SW. CALGARY, AB</b>	
DESIGNER: <b>JT</b>	JOB #: <b>173-22</b>
SCALE: <b>AS SHOWN</b>	SHEET: <b>A-2.0</b>





REAR ELEVATION

SCALE: 3/16" = 1'-0"

PROJECT NOTES:

DO NOT SCALE DRAWINGS. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION. JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL. ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
02.	29/11/2022	REVISIONS	T.Y.2
03.	23/03/2023	DTR #1	T.Y.2
04.	01/05/2023	DTR #1 REVISIONS	T.Y.2
05.	06/06/2023	COA PTR	T.Y.2
06.	07/06/2023	BP PLANS	W.N.

COPYRIGHT:

ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT. NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT:

FOUR UNIT ROWHOUSE

STATUS:

-

SIGNATURES:

X

PRINTED:

4/4/2024 5:09:49 PM

JOHN TRINH & ASSOCIATES

Design | Drafting | Planning | Permits

www.johntrinh.ca - 403.472.8184

"We specialize in New Homes, In-fills, Renovations and Commercial projects."

PROJECT NAME:

#3301,#4305,#4307,#4309 - 32 AV SW. CALGARY, AB

DESIGNER:

JT

SCALE:

AS SHOWN

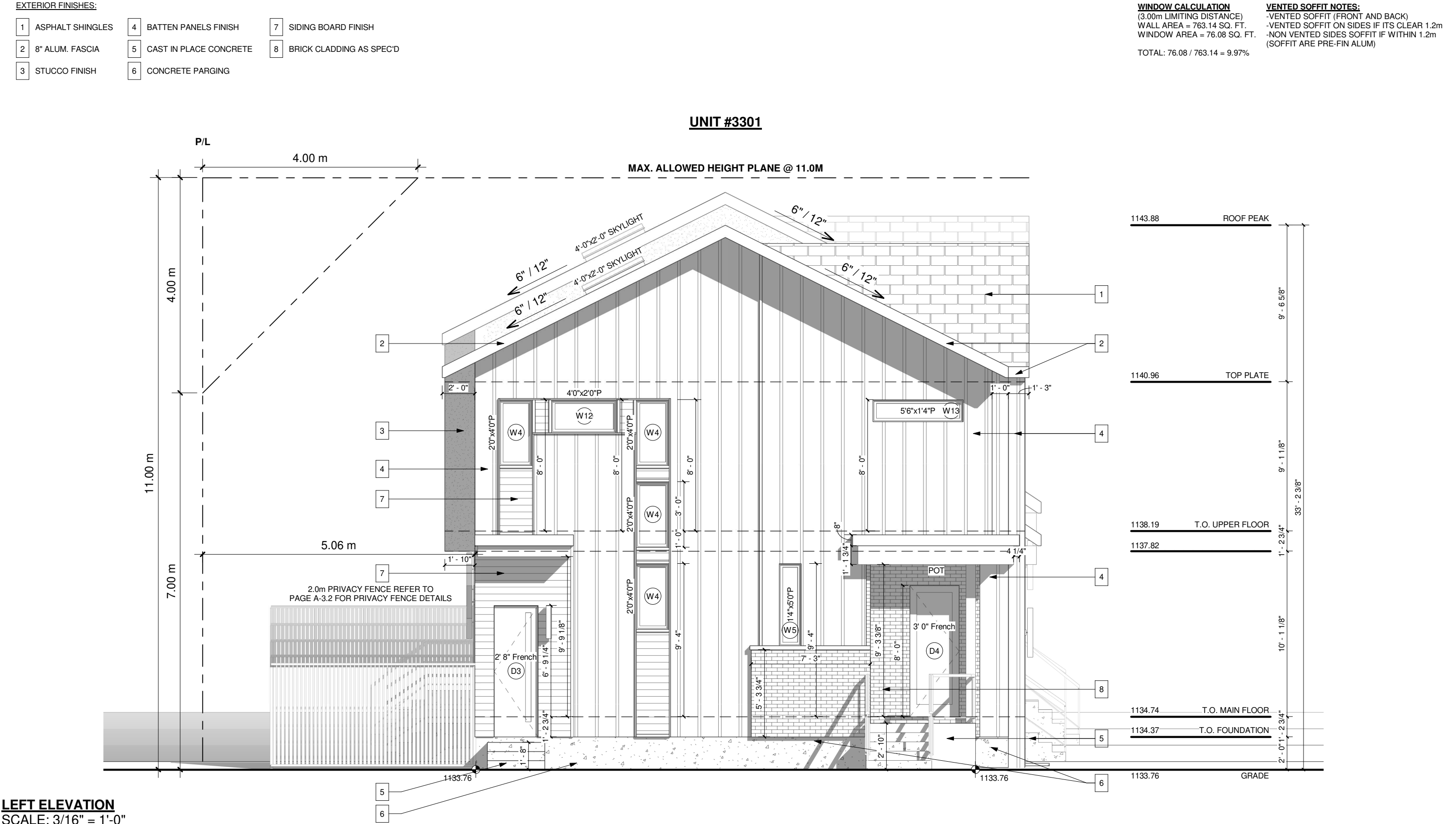
JOB #:

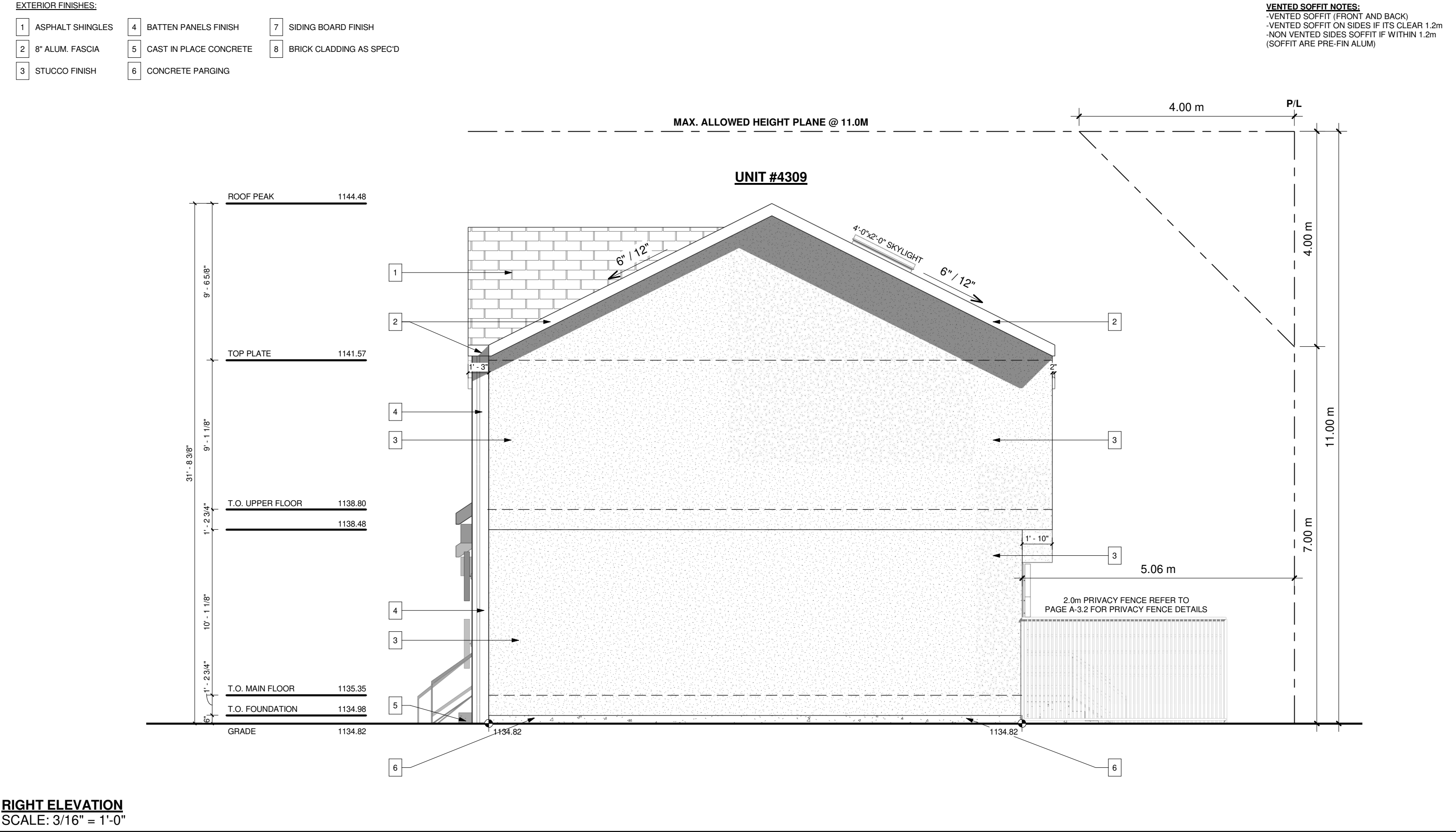
173-22

SHEET:

A-2.1







**VENTED SOFFIT NOTES:**  
-VENTED SOFFIT (FRONT AND BACK)  
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m  
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m  
(SOFFIT ARE PRE-FIN ALUM)

PROJECT NOTES:

DO NOT SCALE DRAWINGS. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION. JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL. ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
02.	29/11/2022	REVISIONS	T.Y.2
03.	23/03/2023	DTR #1	T.Y.2
04.	01/05/2023	DTR #1 REVISIONS	T.Y.2
05.	06/06/2023	COA PTR	T.Y.2
06.	07/06/2023	BP PLANS	W.N.

COPYRIGHT:

ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT. NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT:

FOUR UNIT ROWHOUSE

STATUS:

-

SIGNATURES:

X

PRINTED:

4/4/2024 5:09:54 PM

JOHN TRINH & ASSOCIATES

Design | Drafting | Planning | Permits

www.johntrinh.ca - 403.472.8184

"We specialize in New Homes, In-fills, Renovations and Commercial projects."

PROJECT NAME:

#3301,#4305,#4307,#4309 - 32 AV SW. CALGARY, AB

DESIGNER:

JT

SCALE:

AS SHOWN

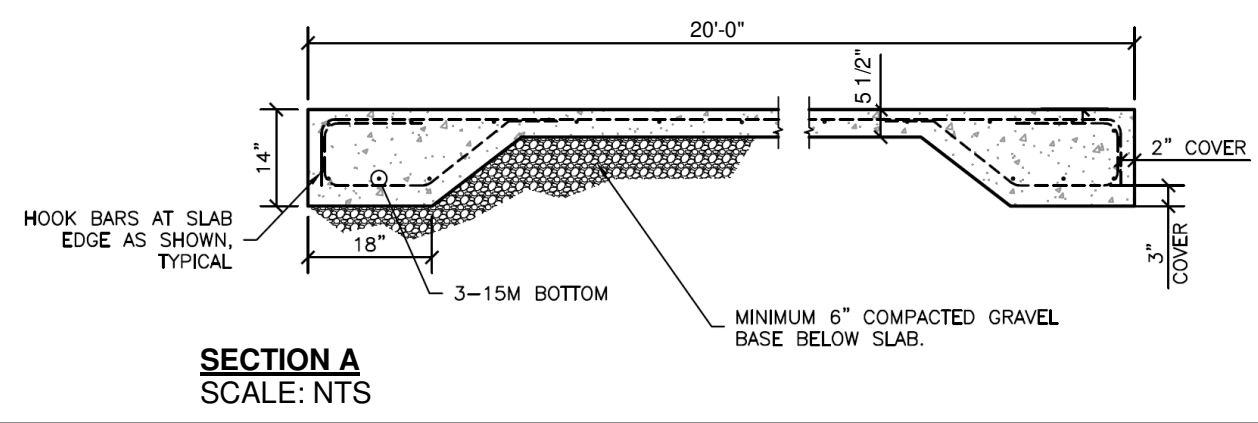
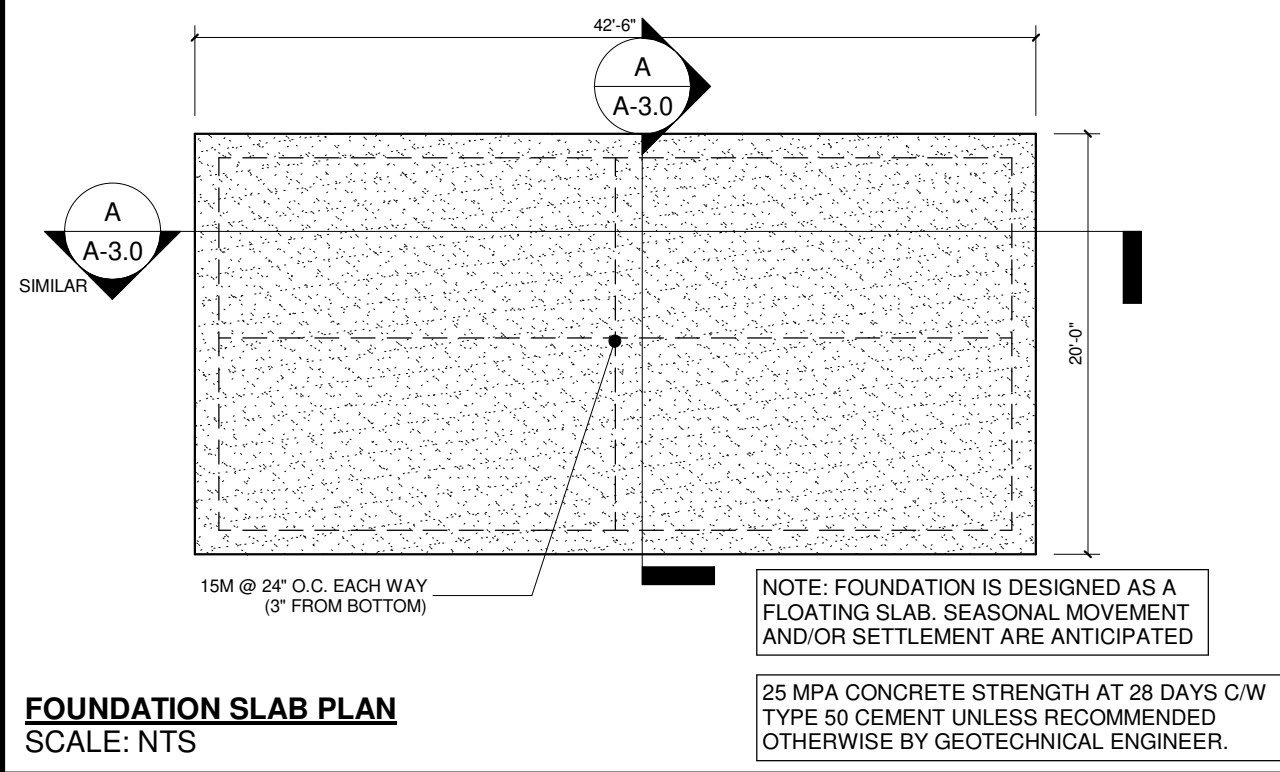
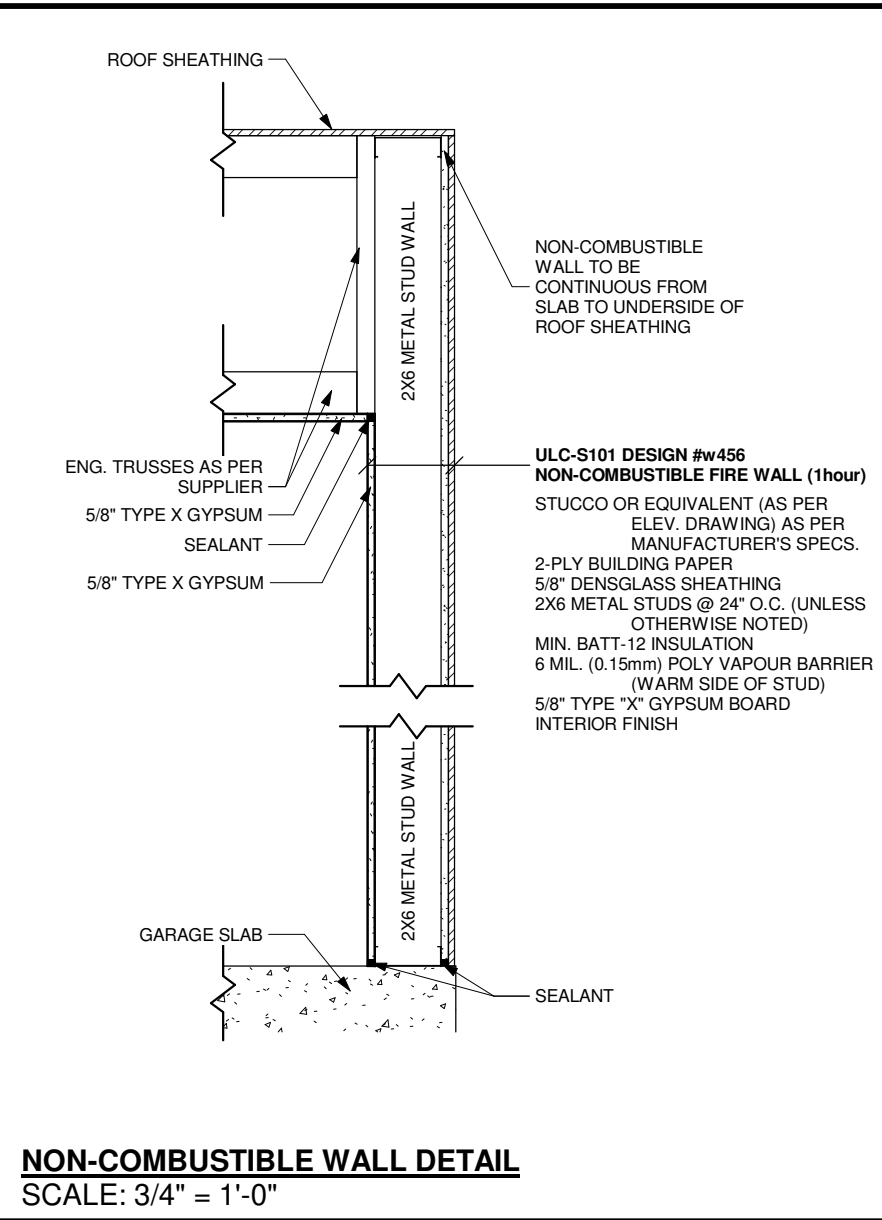
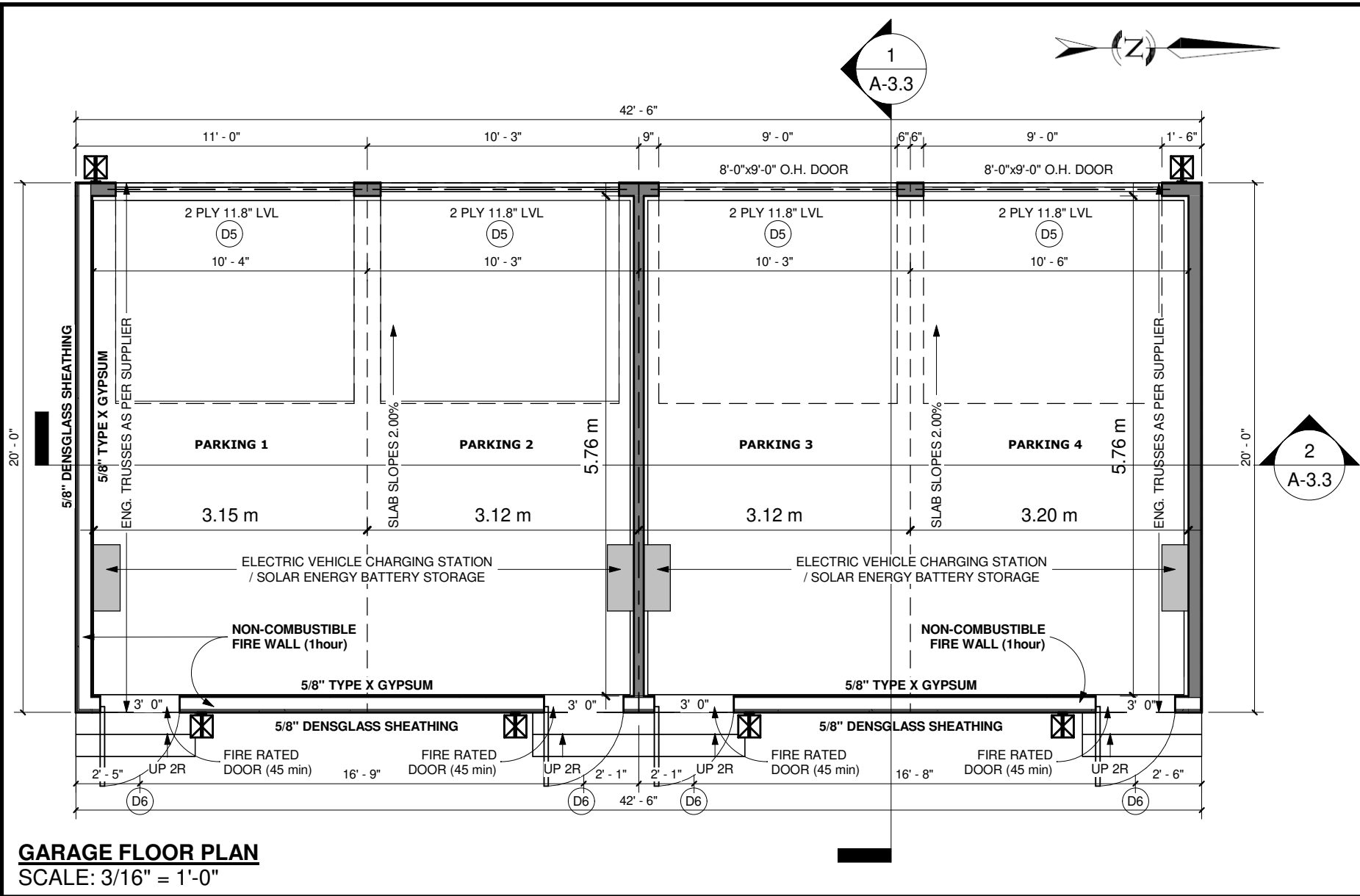
JOB #:

173-22

SHEET:

A-2.3





PROJECT NOTES:

**SOLAR ENERGY NOTES:**  
FOR SOLAR PV AT LEAST 2.5cm (1") NOMINAL DIAMETER CONSTRUCTED OF RIGID OR FLEXIBLE METAL CONDUIT, RIGID PVC CONDUIT, LIQUID TIGHT FLEXIBLE CONDUIT OR ELECTRICAL METALLIC TUBING (AS PER SECTION 12 OF THE CANADIAN ELECTRICAL CODE PART 1 CONCERNING "RACEWAYS") SHOULD BE INSTALLED.

DO NOT SCALE DRAWINGS. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION. JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

**ISSUES:**

NO.	DATE(D/M/Y)	DETAIL	BY
02.	29/11/2022	REVISIONS	T.Y.2
03.	23/03/2023	DTR #1	T.Y.2
04.	01/05/2023	DTR #1 REVISIONS	T.Y.2
05.	06/06/2023	COA PTR	T.Y.2
06.	07/06/2023	BP PLANS	W.N.

**JOHN TRINH & ASSOCIATES**  
Design | Drafting | Planning | Permits

[www.johntrinh.ca](http://www.johntrinh.ca) - 403.472.8184

"We specialize in New Homes, In-fills, Renovations and Commercial projects."

COPYRIGHT: ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT. NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT: **FOUR UNIT ROWHOUSE**

STATUS: -

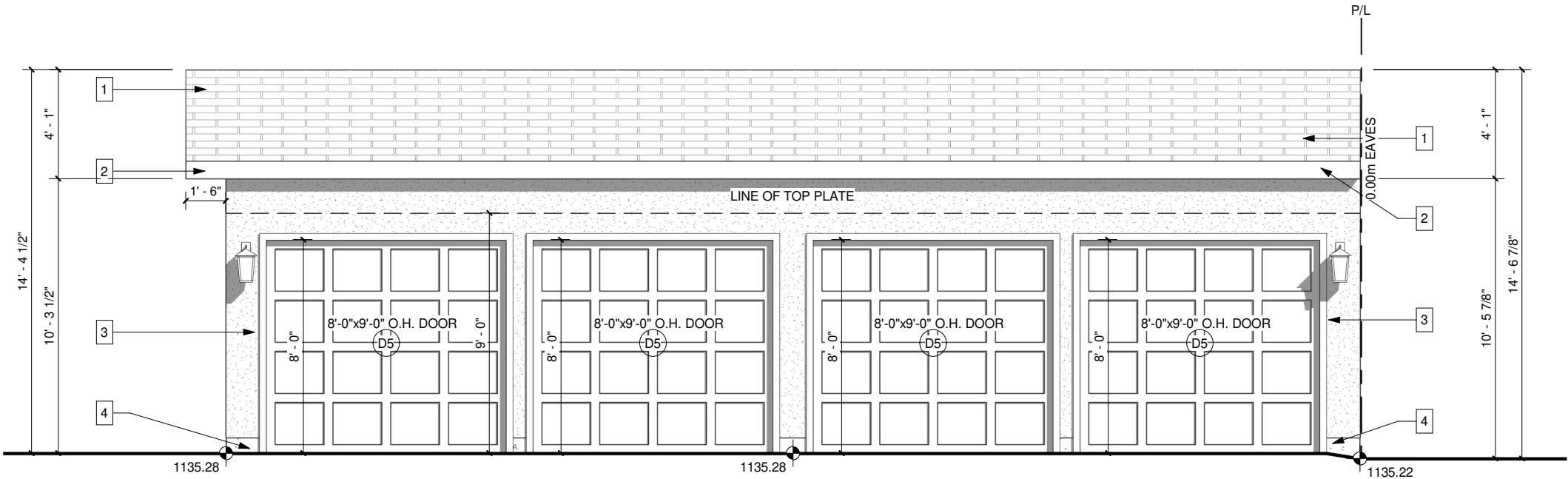
SIGNATURES: X \_\_\_\_\_

PRINTED: 4/4/2024 5:09:55 PM

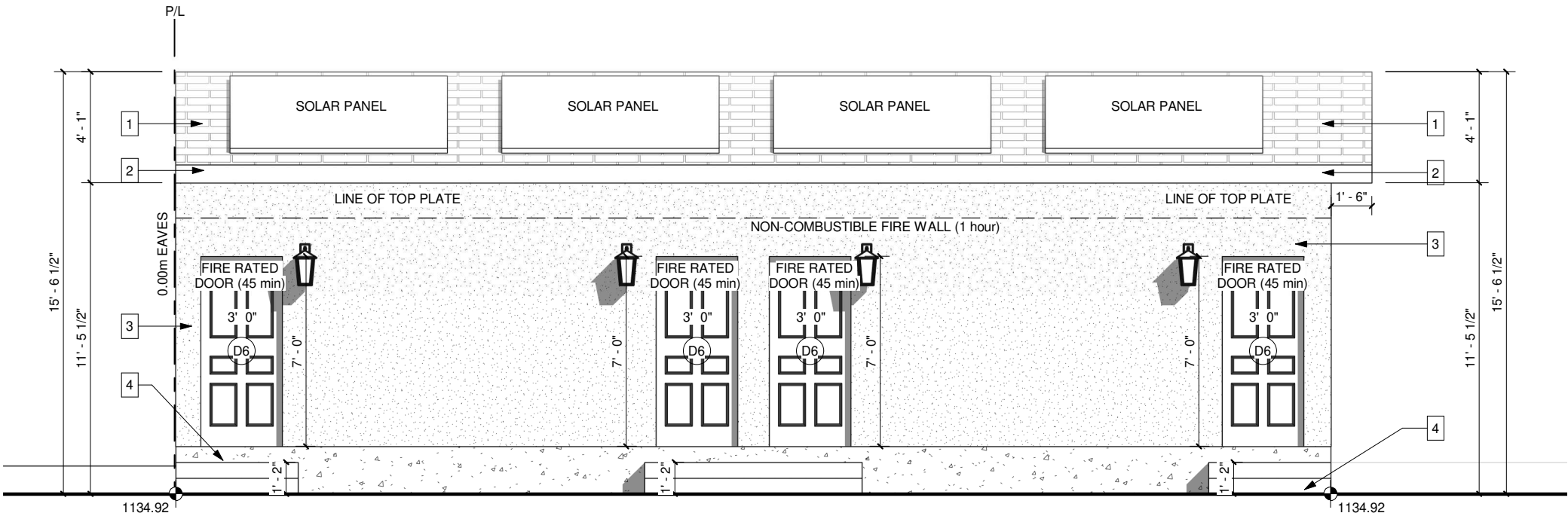
PROJECT NAME: #3301, #4305, #4307, #4309 - 32  
AV SW.  
CALGARY, AB

DESIGNER: JT	JOB #: 173-22
SCALE: AS SHOWN	SHEET: A-3.0

- EXTERIOR FINISHES:
- 1 ASPHALT SHINGLES
  - 2 8" FASCIA
  - 3 STUCCO FINISH
  - 4 CONCRETE PARGING



**GARAGE FRONT**  
SCALE: 3/16" = 1'-0"



**GARAGE REAR**  
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

DO NOT SCALE DRAWINGS.  
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS.  
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.  
JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
02.	29/11/2022	REVISIONS	T.Y.2
03.	23/03/2023	DTR #1	T.Y.2
04.	01/05/2023	DTR #1 REVISIONS	T.Y.2
05.	06/06/2023	COA PTR	T.Y.2
06.	07/06/2023	BP PLANS	W.N.

**JOHN TRINH & ASSOCIATES**  
Design | Drafting | Planning | Permits

[www.johntrinh.ca](http://www.johntrinh.ca) - 403.472.8184

"We specialize in New Homes, In-fills, Renovations and Commercial projects."

COPYRIGHT:  
ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT. NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT:  
**FOUR UNIT ROWHOUSE**

STATUS: -

SIGNATURES:  
X \_\_\_\_\_

PRINTED: 4/4/2024 5:09:55 PM

PROJECT NAME:  
#3301,#4305,#4307,#4309 - 32  
AV SW.  
CALGARY, AB

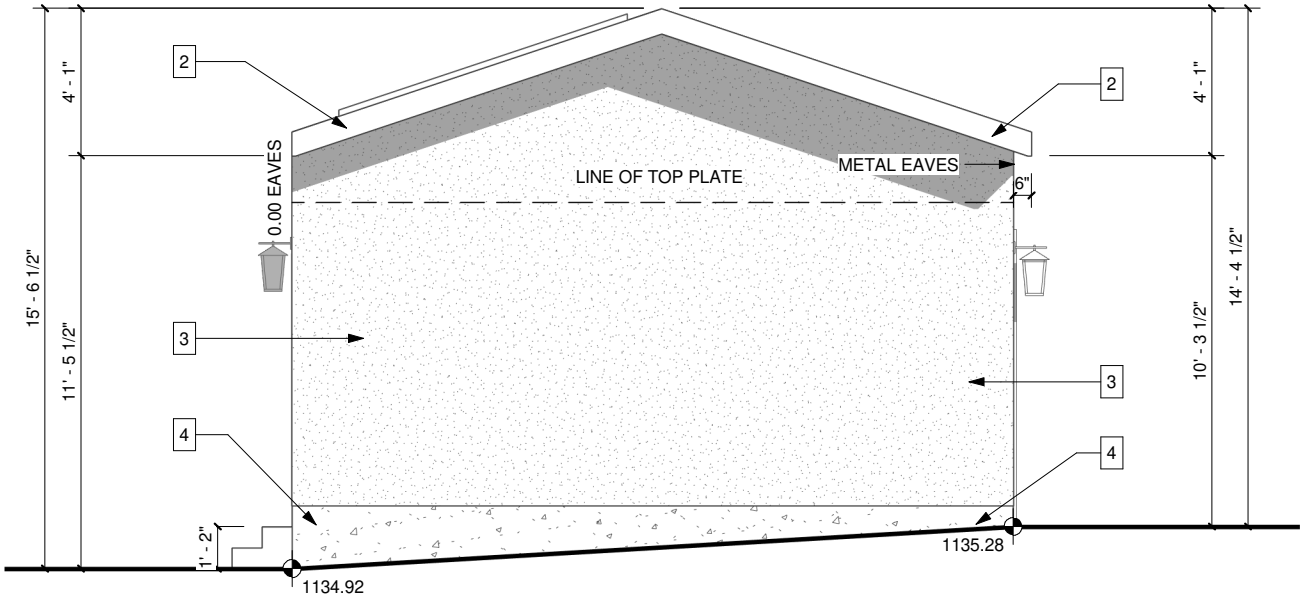
DESIGNER: JT  
JOB #: 173-22

SCALE: AS SHOWN  
SHEET: A-3.1

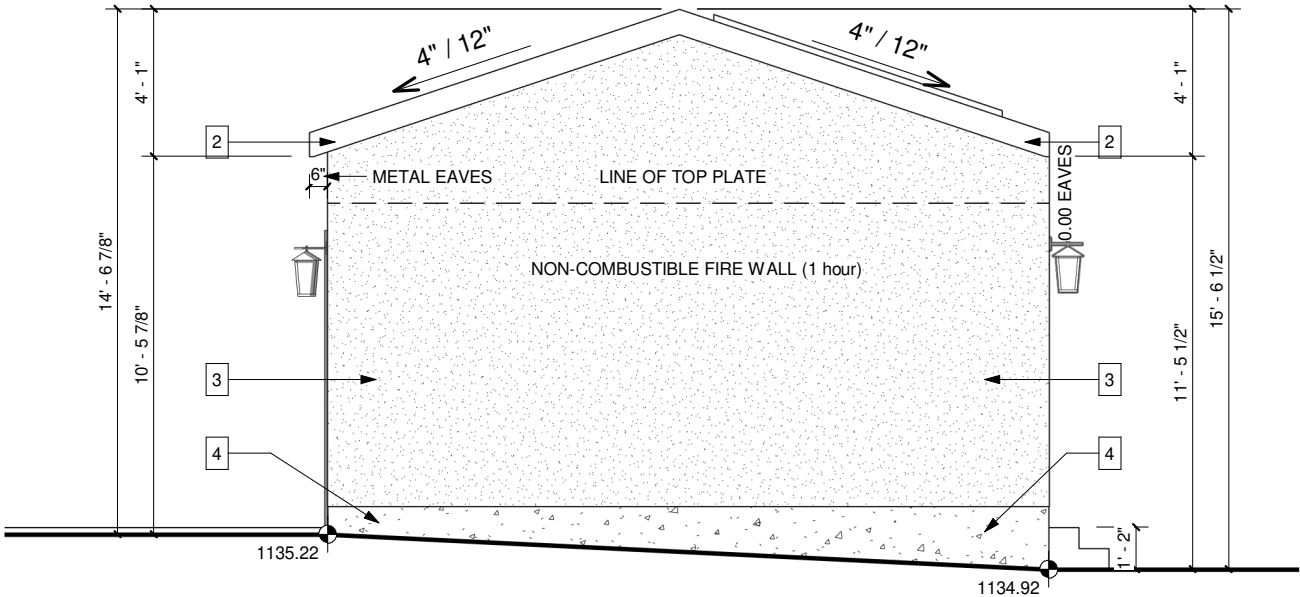


EXTERIOR FINISHES:

- 1 ASPHALT SHINGLES
- 2 8" FASCIA
- 3 STUCCO FINISH
- 4 CONCRETE PARGING



**GARAGE LEFT**  
SCALE: 3/16" = 1'-0"



**GARAGE RIGHT**  
SCALE: 3/16" = 1'-0"

PROJECT NOTES:

DO NOT SCALE DRAWINGS.  
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS.  
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.  
JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING

ISSUES:

NO.	DATE(D/M/Y)	DETAIL	BY
02.	29/11/2022	REVISIONS	T.Y.2
03.	23/03/2023	DTR #1	T.Y.2
04.	01/05/2023	DTR #1 REVISIONS	T.Y.2
05.	06/06/2023	COA PTR	T.Y.2
06.	07/06/2023	BP PLANS	W.N.

**JOHN TRINH & ASSOCIATES**  
Design | Drafting | Planning | Permits

[www.johntrinh.ca](http://www.johntrinh.ca) - 403.472.8184

*"We specialize in New Homes, In-fills, Renovations and Commercial projects."*

COPYRIGHT:  
ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT. NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

PROJECT:  
**FOUR UNIT ROWHOUSE**

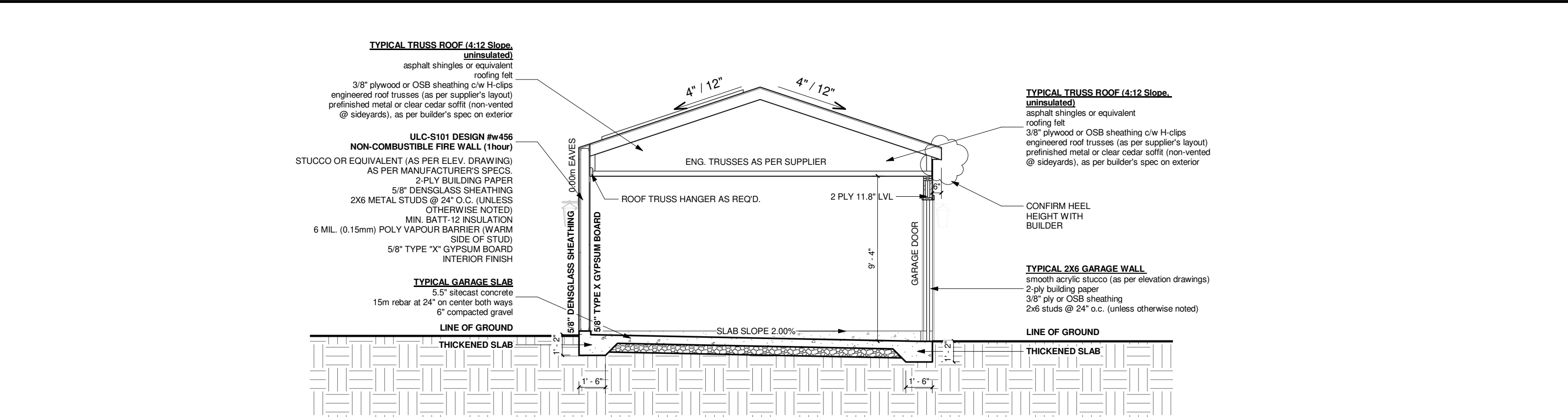
STATUS: -

SIGNATURES:  
X \_\_\_\_\_

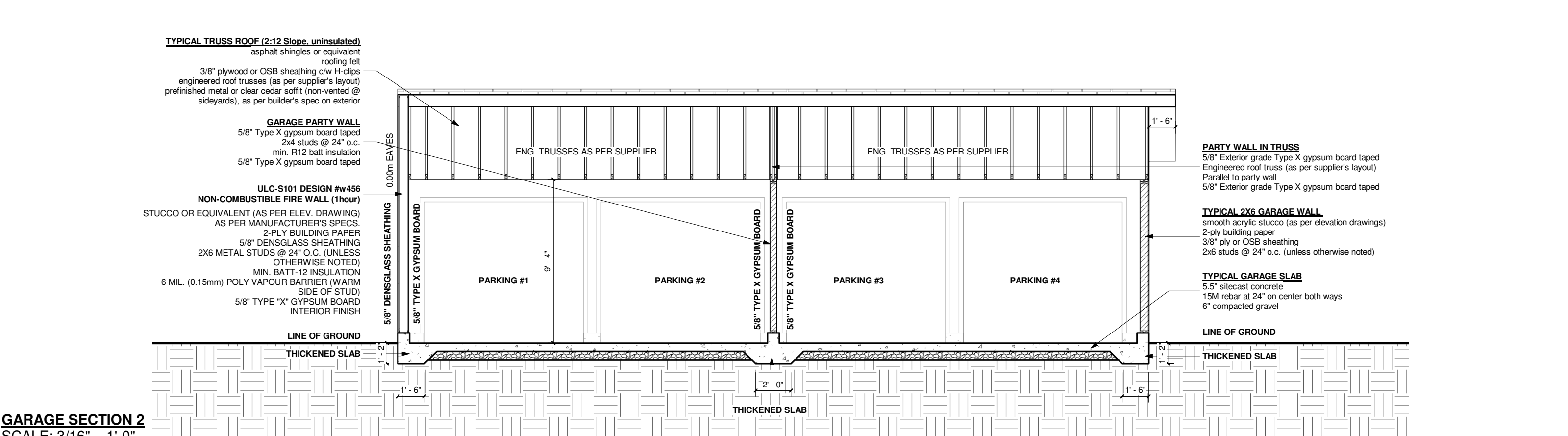
PRINTED: 4/4/2024 5:09:56 PM

PROJECT NAME:  
#3301,#4305,#4307,#4309 - 32  
AV SW.  
CALGARY, AB

DESIGNER: JT	JOB #: 173-22
SCALE: AS SHOWN	SHEET: A-3.2



**GARAGE SECTION 1**  
SCALE: 3/16" = 1'-0"



**GARAGE SECTION 2**  
SCALE: 3/16" = 1'-0"

PROJECT NOTES:	DO NOT SCALE DRAWINGS. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION. JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL. ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.	ISSUES:				COPYRIGHT: ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT. NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION  ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.	PROJECT:	<b>JOHN TRINH &amp; ASSOCIATES</b> Design   Drafting   Planning   Permits  <b>www.johntrinh.ca - 403.472.8184</b>  "We specialize in New Homes, In-fills, Renovations and Commercial projects."	PROJECT NAME:		
							FOUR UNIT ROWHOUSE			#3301,#4305,#4307,#4309 - 32 AV SW. CALGARY, AB	
							STATUS: -			DESIGNER:	JOB #:
							SIGNATURES: X			JT	173-22
							PRINTED: 4/4/2024 5:09:56 PM			SCALE: AS SHOWN	SHEET: A-3.3